

**REGULAR MEETING OF THE CITY COUNCIL
OF THE CITY OF EAST RIDGE**

**AGENDA
April 10, 2025
6:00 pm**

1. Call to Order
2. Invocation
3. A. Roll Call
 B. Milestone Award for March 2025
4. Consent Agenda
 - A. Approval of Minutes March 27, 2025 Council Meeting
 - B. Approval of February 2025 Financial Report
5. Communication from Citizens
6. Communication from Councilmembers
7. Communication from City Manager
8. Old Business
 - A. Discussion of City Charter Review Commission
9. New Business
 - A. **RESOLUTION NO. 3671** - A RESOLUTION OF THE EAST RIDGE CITY COUNCIL APPROVING AN APPOINTMENT BY COUNCILMEMBER JACKY CAGLE TO THE EAST RIDGE BOARD OF ZONING APPEALS
 - B. **RESOLUTION NO. 3672** - A RESOLUTION OF THE EAST RIDGE CITY COUNCIL APPROVING AN APPOINTMENT BY VICE MAYOR DAVID TYLER TO THE EAST RIDGE BOARD OF ZONING APPEALS
 - C. **RESOLUTION NO. 3673** - A RESOLUTION OF THE EAST RIDGE CITY COUNCIL AMENDING RESOLUTION NO. 3658 TO REFLECT A CORRECTED TERM END DATE FOR THE COUNCIL APPOINTMENT TO FILL AN UNEXPIRED TERM ON THE EAST RIDGE INDUSTRIAL DEVELOPMENT BOARD
 - D. **RESOLUTION NO. 3674** – A RESOLUTION OF THE EAST RIDGE CITY COUNCIL TO APPROVE BIDS FOR THE RENOVATION OF THE RESTROOMS WITHIN CAMP JORDAN ARENA

E. **RESOLUTION NO. 3675** – A RESOLUTION OF THE EAST RIDGE CITY COUNCIL AMENDING RESOLUTION NO. 3657 TO CORRECT THE PROCESS FOR APPOINTING COUNCILMEMBER ANDREA WITT’S NOMINATION OF JAMES MEYERS TO FILL AN UNEXPIRED TERM TO THE EAST RIDGE HOUSING COMMISSION

F. Discussion of Tentative Agenda for the **April 24, 2025** City Council Meeting (see Attachment A)

10. Adjournment

ATTACHMENT A
TENTATIVE AGENDA
April 24, 2025

8. Old Business

NONE

9. New Business

- A. **RESOLUTION NO. _____** - Variance to the City's sign ordinance to install two signs at the proposed Whataburger location at 6521 Ringgold Road
- B. **RESOLUTION NO. _____** - Use on review for approval to operate a medical clinic at 842 S Germantown Road

**REGULAR MEETING OF THE CITY COUNCIL
OF THE CITY OF EAST RIDGE**

**March 27, 2025
6:00 pm**

The East Ridge City Council met pursuant to the meeting notice on March 27, 2025, at 6:00 p.m. in the East Ridge City Hall Council Chambers. Mayor Williams called the meeting to order.

Danny Lance gave the invocation. All joined in for the Pledge of Allegiance.

Present: Mayor Williams, Vice Mayor Tyler, Councilmember Cagle, Councilmember Ezell, Councilmember Witt, City Manager Miller, City Attorney Litchford, Office Assistant Bowers.

Attendance: 12

Consent Agenda:

- A. Approval of Minutes of March 13, 2025, Council Meeting
- B. Declaration of Surplus Property – Police Department, Sanitation

Vice Mayor Tyler made the motion to approve the consent agenda, second by Councilmember Witt. There being no further discussion, Mayor Williams asked for a roll call. The vote was unanimous, motion approve.

Communication from Citizens:

None

Communication from Councilmembers:

Councilmember Ezell had nothing at this time.

Councilmember Witt had nothing at this time.

Vice Mayor Tyler asked that Staff to look into who owns the cell phone tower on Blackhawk Trail. City Manager Miller stated he would look into it.

Councilmember Cagle had nothing at the time.

Mayor Williams reported the events and programs from both the Parks & Recreation department and the Library.

Communication from City Manager:

City Manager Miller reported on the following:

- The Building & Codes department are working with new upcoming businesses – Smoothie King & Jersey Mike’s Subs in the old BB&T Bank property at the corner of North Mack Smith Road and Ringgold Road.
- The building site beside Parkridge East Hospital is about to start construction on several homes in the Graston Multi-Family development.
- Construction has begun on 2 acres of land beside Sweet Bay Apartments on Fountain Avenue – 15 patio homes are proposed.
- The restaurant chain Whataburger is going to the site of the former Wally’s Restaurant.
- In the old Seahorse Farms property, off Frawley Road, plans are under review. The neighborhood will consist of 108 two-story townhomes.
- The new Welcome to East Ridge sign has been installed near the Chik-fil-a restaurant. Waiting on electrical hookups for both new welcome signs.
- The newly named “Venue 1921 at East Ridge” (12,000 sqft) have several active construction items – walls, fire protection, temporary electrical, the parking lots etc.
- Informed the Council that the new City Clerk, Jennifer Deitrick, will start on Monday, March 31st, 2025. She comes from the Town of Farragut with 11 years of experience. He stated that she will be a great asset to the City.
- Mayor Williams discussed taking one of the old Wally’s signs and placing it in the History Center.

8) Old Business:

RESOLUTION NO. 3657 – A RESOLUTION OF THE EAST RIDGE CITY COUNCIL APPROVING A NOMINATION BY COUNCILMEMBER ANDREA WITT TO FILL AN UNEXPIRED TERM O N THE EAST RIDGE HOUSING COMMISSION– City Attorney Litchford read on caption. City Attorney Litchford explained that this is an appointment but in resolution form, memorializing the appointment to the unexpired term made by Councilmember Witt. After much discussion and editing of the resolution wording, Vice Mayor Tyler made a motion, seconded Mayor Williams, to memorialize the appointment of James Meyers to the East Ridge Housing Commission. Mayor Williams asked for a roll call. The vote was unanimous. Motion approved.

RESOLUTION NO. 3658 – A RESOLUTION OF THE EAST RIDGE CITY COUNCIL APPROVING A NOMINATION BY CITY COUNCIL TO FILL AN UNEXPIRED TERM ON THE EAST RIDGE INDUSTRIAL DEVELOPMENT BOARD – City Attorney Litchford read on caption. Mayor Williams asked for nominations from the Council. Vice Mayor nominated Stan Allen to the appointment. Vice Mayor Tyler made a motion, seconded by Councilmember Witt, to memorialize the appointment of Stan Allen to the East Ridge Industrial Development Board. Councilmember Cagle stated that an error was found in the appointment service terms. The resolution will be updated to the correct term limits. Mayor Williams asked for a roll call. The vote was unanimous. Motion approved.

9) New Business:

RESOLUTION NO. 3668 – A RESOLUTION OF THE EAST RIDGE CITY COUNCIL AMENDING RESOLUTION NO. 3241, WHICH APPROVED THE HUMAN RESOURCES MANUAL – City Attorney Litchford read on caption. Human Resources Director Sinigaglio went over the proposed changes and additions. City Manager Miller explained that the upcoming updates were triggered by the audit of another city’s policies. These changes will help to make clear and enforce policies. Vice Mayor Tyler made a motion, seconded by Councilmember Witt, to accept the proposed changes to the Human Resources Manual. After discussion, Mayor Williams asks for a roll call. The vote was unanimous. Motion approved

RESOLUTION NO. 3669 – A RESOLUTION OF THE EAST RIDGE CITY COUNCIL APPROVING THE FIRST AMENDMENT TO THE PROFESSIONAL ENGINEERING SERVICES AGREEMENT WITH VOLKERT, INC. RELATING TO THE JOHN ROSS ROAD RESURFACING PROJECT City Attorney Litchford read on caption. EDC Administrator McAllister gave the history of the grant. He explained that at the beginning of the project, Volkert, Inc. was selected to do engineering and CEI services and project administration when it became time for construction; this included bids. After the first round of proposals were open and rejected, Volkert, Inc. requested an additional fee to cover the costs of an additional bid for the project. EDC McAllister explained that a cost cut measure was to have WWTa take responsibility of the manholes along John Ross Road. The amendment cost will be \$5,000. Councilmember Witt made a motion, seconded by Councilmember Ezell to approve the amendment with Volkert, INC. for \$5,000. There was discussion amongst Council regarding street cuts that are not remediated to City specifications. Further, the department responsible for monitoring these road cuts must stay on top of these projects in order to make the party involved in the road cut held accountable to restore the project to the satisfaction of the City. After discussion, Mayor Williams asks for a roll call. The vote was unanimous. Motion approved

RESOLUTION NO. 3670 – A RESOLUTION OF THE EAST RIDGE CITY COUNCIL APPROVING A BID FOR THE EAST RIDGE COMMUNITY CENTER EXPANSION PROJECT – City Attorney Litchford read on caption. City Manager Miller introduced Michael Prader from H&K Architects that works alongside Kimley Horn in the design of the expansion project. City Manager Miller began by saying that the funding is a 50/50 grant project under the State Local Parks & Recreations Fund. The City’s portion of the grant will be \$600,000 and the State will be \$600,000 for a total project cost of \$1,200,000. He continued to discuss items, with subsequent costs for each. City Manager Miller also mentioned other items that were not included in the original bid, which would be needed and completed now instead of waiting. He asked for the additional funding to come from the Capital Improvement Fund Balance. City Manager Miller recommended awarding the bid to Pillar Construction in the amount of \$1,718,000. Discussion was had between City Manager Miller and Council as to where funding for this and other related projects would come from. Councilmember Witt, seconded by Vice-Mayor Tyler to accept the resolution as captioned.

After some discussion, Mayor Williams asked for a roll call. The vote was unanimous. Motion approved.

**Discussion of Tentative Agenda Items for April 10, 2025, City Council Meeting
(see Attachment A)**

8) Old Business:

A) **Discussion of City Charter Review Commission** – City Attorney Litchford researched for the previous Charter Review Commission from 2008. Eight changes were put on the November ballot to approve or deny these recommended changes. He further found information on another Charter Review Commission around 2013. It hasn’t been indicated that changes were suggested at that time. City Attorney Litchford has reached out to previous City Attorney Hal North for any information he may have during that time and confer with MTAS for their opinion as well as find out more information. Council discussed that it would be time for another review of the charter and will discuss further at the April 10th meeting.

9) New Business:

A) **RESOLUTION NO. ____** Appointment to the Zoning Appeals Board Councilmember Cagle – No discussion.

B) **RESOLUTION NO. _____** Appointment to the Zoning Appeals Board Vice Mayor Tyler – No discussion

Councilmember Ezell brought up the dog park. Discussion between Council and Mr. Miller was had regarding the cost of moving the dog park and where it could be placed. He stated that it would have to be investigated if property was purchased with grant funds, what can be done with it as far as putting the park, restrooms, lighting, etc. Mayor Williams brought up turfing an alternative to growing grass.

There being no further business, the meeting was adjourned.

APPROVED:

MAYOR

OFFICE ASSISTANT

Summary Financial Statement of Revenues and Expenditures
Feb-25

Unaudited		Spent YTD			66.67%	
FISCAL YEAR ENDING 06/30/2025		Year-To-Date by Amount			Variance	
Account	Description	BUDGET	FY 2024	FY 2025	YTD	Avg Yr %
110						
REVENUES						
31100	Property Taxes	6,657,579	3,839,098	3,712,927	55.77%	66.67%
31200	Property Taxes (Delinquent)	500,000	153,582	337,715	67.54%	66.67%
31610	Local Sales Tax - Co. Trustee	4,740,000	2,686,356	2,741,067	57.83%	66.67%
31611	Incremental State Sales Tax	8,597,436	7,397,436	7,902,012	91.91%	66.67%
31710	Wholesale Beer Tax	440,000	279,500	263,854	59.97%	66.67%
31800	State Net Allocation	300,000	66,001	69,194	23.06%	66.67%
31810	Minimum Business Licenses	10,000	2,377	1,029	10.29%	66.67%
31824	Solicitors Permit	0	90	0	0.00%	66.67%
31827	5% State Commission	30,000	5,123	6,545	21.82%	66.67%
31912	Cable TV Franchise Tax	196,000	98,030	85,407	43.58%	66.67%
31961	Liens Collected by Trustee	25,000	17,042	28,576	114.31%	66.67%
32120	Wrecker Licenses	350	400	350	100.00%	66.67%
32200	Alcoholic Beverage Tax	240,000	166,559	156,294	65.12%	66.67%
32210	Beer Licenses & Etc.	9,500	6,881	6,305	66.37%	66.67%
32220	Liquor Licenses	3,500	1,450	2,550	72.86%	66.67%
32225	Fireworks Fees/Permits	3,000	0	0	0.00%	66.67%
32226	Annual Fireworks Permit Fee	300	0	0	0.00%	66.67%
32227	Vacation Rental Fee	0	0	315	0.00%	66.67%
32610	Building Permits	225,000	73,595	82,887	36.84%	66.67%
32615	Fire Preventions/Permits	1,000	1,090	1,790	179.00%	66.67%
32620	Electrical Permits	30,000	13,167	15,290	50.97%	66.67%
32630	Plumbing Permits	15,000	9,773	12,286	81.91%	66.67%
32640	Natural Gas Permits	2,000	1,511	716	35.78%	66.67%
32650	Excavating Permits	8,000	11,400	5,600	70.00%	66.67%
32660	Zoning Permits	3,000	2,200	1,650	55.00%	66.67%
32671	Regular Sign Permits	3,500	2,850	1,100	31.43%	66.67%
32672	Temporary Sign Permits	300	0	0	0.00%	66.67%
32690	Plan Review Fees	100	0	0	0.00%	66.67%
32691	Tree Trimming Permits	100	30	20	20.00%	66.67%
32905	Other Code Fees	28,000	19,249	4,373	15.62%	66.67%
32960	Yard Sale Permits	200	30	100	50.00%	66.67%
32990	Mechanical Permits	20,000	15,671	12,224	61.12%	66.67%
33191	Appropriation St. of TN	300,000	300,000	300,000	100.00%	66.67%
33410	Police In-Service	37,600	0	0	0.00%	66.67%
33420	Police Bonus Sup.	0	0	30,400	0.00%	66.67%
33430	Fire In-Service	24,800	0	22,400	90.32%	66.67%
33490	Police Retention	0	0	12,000	0.00%	66.67%
33510	State Sales Tax	2,754,000	1,601,113	1,637,569	59.46%	66.67%
33511	Telecom Sales Tax	5,000	2,739	2,749	54.99%	66.67%
33512	Sportsbetting	38,000	29,467	35,062	92.27%	66.67%
33513	Occupcity Tax	1,500	1,197	1,168	77.88%	66.67%
33515	State Tax/Telecom	500	0	1	0.14%	66.67%
33530	State Beer Tax	10,680	5,340	5,089	47.65%	66.67%
33540	State Mixed Drink Tax	110,000	74,892	75,217	68.38%	66.67%
33552	State City Streets	40,565	23,689	23,614	58.21%	66.67%
33591	TVA Gross Receipts	266,004	136,057	134,651	50.62%	66.67%

FISCAL YEAR ENDING 06/30/2025		Year-To-Date by Amount			Variance	
Account	Description	BUDGET	FY 2024	FY 2025	YTD	Avg Yr %
33593	Corporate Excise Tax	6,000	0	0	0.00%	66.67%
34121	Clerks' Fees - Business Tax	2,000	1,205	1,020	51.00%	66.67%
34211	Accident Report Charges	2,000	1,144	1,391	69.54%	66.67%
34212	DL Reinstatement Fee	2,000	730	1,815	90.75%	66.67%
34221	Ridgeside Contract	121,268	68,019	80,845	66.67%	66.67%
34231	Police Services	1,000	882	3,668	366.77%	66.67%
34314	Mowing	9,800	0	0	0.00%	66.67%
34500	Donations New Shelter	5,000	3,615	2,560	51.20%	66.67%
34515	Rabies/Spay	500	225	0	0.00%	66.67%
34516	Registration	1,000	1,393	380	38.00%	66.67%
34517	Adoption	1,500	427	1,335	89.00%	66.67%
34518	Board & Impound Fees	1,000	140	395	39.50%	66.67%
34520	A/S Donations-Designated	1,000	300	1,516	151.60%	66.67%
34641	Indoor Soccer Income	188,760	180,246	198,808	105.32%	66.67%
34642	Community Center Income	43,000	32,050	33,962	78.98%	66.67%
34643	Outdoor Soccer Fees	81,320	60,475	66,232	81.45%	66.67%
34644	Baseball Fees	41,550	29,138	15,830	38.10%	66.67%
34645	Softball Fees	28,510	17,303	13,940	48.90%	66.67%
34646	Gate	30,000	19,261	24,494	81.65%	66.67%
34647	McBrien Complex	0	0	0	0.00%	66.67%
34648	Adult League - Softball	30,000	17,515	19,520	65.07%	66.67%
34649	Concerts/Events	10,000	715	6,514	65.14%	66.67%
34651	Arena	145,000	73,582	91,850	63.35%	66.67%
34652	Pavilion Rental	22,000	11,370	10,887	49.49%	66.67%
34653	Track Rental	2,000	402	1,000	50.00%	66.67%
34654	Field Rental	62,000	33,439	52,283	84.33%	66.67%
34655	Amphitheater	16,000	10,679	7,517	46.98%	66.67%
34656	Concessions	50,000	31,805	49,187	98.37%	66.67%
34657	Overnight - Rv Rental	24,000	9,097	13,900	57.91%	66.67%
34658	Tournament Team Fees	4,000	2,345	1,719	42.98%	66.67%
34712	Sponsorship/Parks & Rec	5,000	2,050	9,880	197.60%	66.67%
34720	Football Gate	5,000	4,939	4,246	84.91%	66.67%
34751	Basketball Gate	20,000	17,433	14,086	70.43%	66.67%
34742	Basketball Player Fees	22,850	22,470	15,578	68.17%	66.67%
34743	Football Player Fees	23,530	16,428	12,350	52.49%	66.67%
34744	Photography	1,200	567	0	0.00%	66.67%
34745	Vending/Concessions	15,000	13,961	5,193	34.62%	66.67%
34746	Cheerleading	2,270	940	2,750	121.15%	66.67%
34747	Rent-Arena Equipment	25,000	13,568	31,712	126.54%	66.67%
34749	Soccer Field Rentals	80,000	60,220	63,529	79.41%	66.67%
34760	Library Charges	1,000	559	780	77.96%	66.67%
34761	Library - Copies	1,000	605	491	49.07%	66.67%
34794	C Center M. Fees	1,000	10	615	61.50%	66.67%
35100	Court Fines & Costs	325,000	204,493	215,113	66.19%	66.67%
35110	Fortfeiture of Bond	0	6,000	0	0.00%	66.67%
35120	Public Defender Fees	0	0	0	0.00%	66.67%
35150	Diversion Filing	0	0	0	0.00%	66.67%
36100	Interest Earnings	6,500	6,659	25,848	397.66%	66.67%
36211	Rent - Cell Tower	12,925	38,617	8,617	66.67%	66.67%
36310	Sale of Land	0	0	18,000	0.00%	66.67%
36330	Sale Of Equipment	10,000	1,625	3,326	33.26%	66.67%
36350	Insurance Recoveries	50,000	53,828	26,772	53.54%	66.67%

FISCAL YEAR ENDING 06/30/2025		Year-To-Date by Amount			Variance	
Account	Description	BUDGET	FY 2024	FY 2025	YTD	Avg Yr %
36901	Pipes/Culverts	3,000	322	687	22.90%	66.67%
36902	Damages- Traffic C.	0	0	0	0.00%	66.67%
36903	Christmas Parade	600	595	550	91.67%	66.67%
36905	Police - Sale of Surplus	15,000	15,863	0	0.00%	66.67%
36906	Fire - Sale of Surplus	5,000	766	0	0.00%	66.67%
36990	Miscellaneous Revenues	25,000	3,997	35,164	20.42%	66.67%
36992	Hamilton County	0	0	0	0.00%	66.67%
37200	AHO - Fines/Court Costs	0	0	424	0.00%	66.67%
	Use of Fund Balance	0	198,734	514,394	0.00%	66.67%
	Total Revenues	27,265,597	18,337,735	19,444,766	66.98%	66.67%
EXPENDITURES						
41000	General Government	1,410,855	1,102,601	1,216,025	86.19%	66.67%
41100	Administrative	1,186,508	640,342	782,460	65.95%	66.67%
41111	City Council	119,117	64,606	69,550	58.39%	66.67%
41210	Municipal Court	430,074	224,712	254,921	59.27%	66.67%
41520	City Attorney	136,875	69,359	67,977	49.66%	66.67%
41800	Buildings & Grounds Maintenance	354,585	163,980	224,628	63.35%	66.67%
41900	City Hall Complex	56,500	31,615	44,651	79.01%	66.67%
42100	Police	2,627,428	1,737,425	1,812,678	68.99%	66.67%
42121	Criminal Investigation	962,325	428,113	677,901	70.44%	66.67%
42123	Patrol	2,728,973	1,906,477	2,120,456	77.70%	66.67%
42125	School Resource	349,475	63,001	162,147	46.40%	66.67%
42125	Traffic Division	356,976	110,032	21,059	5.90%	66.67%
42200	Fire Department	4,532,341	2,504,122	3,203,221	70.67%	66.67%
42400	Building/Planning/Zoning	663,399	460,768	395,786	59.66%	66.67%
43110	Highway And Street	582,500	404,570	344,374	59.12%	66.67%
43120	Traffic Control & Street Markers	310,121	264,293	204,293	65.88%	66.67%
43170	Transfer Station/Brush Pit/Fleet	12,100	10,176	16,956	140.14%	66.67%
44140	Animal Control	375,709	205,733	270,233	71.36%	66.67%
44410	Parks and Recreation	1,169,777	759,781	725,384	62.01%	66.67%
44420	Multi-Purpose Recreation Bldg	324,649	165,371	208,064	64.09%	66.67%
44430	Community Center	302,548	175,052	169,049	55.88%	66.67%
44450	McBrien Complex	1,200	658	2,559	213.25%	66.67%
44610	Soccer - Recreation	69,400	33,467	77,082	111.07%	66.67%
44620	Soccer - Indoor	108,200	108,635	76,084	70.32%	66.67%
44630	Baseball/Softball	83,400	38,912	43,279	51.89%	66.67%
44640	Football/Cheer	26,550	17,373	8,605	32.41%	66.67%
44650	Adult Softball	39,250	22,513	24,140	61.50%	66.67%
44700	Basketball	29,050	24,281	15,245	52.48%	66.67%
44800	Libraries	296,906	162,595	181,697	61.20%	66.67%
44810	History Museum	560	302	1,046	186.74%	66.67%
46500	Community Development Programs	10,000	3,863	0	0.00%	66.67%
47200	Economic Development	8,224,869	6,336,993	6,023,215	73.23%	66.67%
49100	Debt Service	106,720	96,013	0	0.00%	66.67%
49400	Capital Projects - Transfer Out	276,657	0	0	0.00%	66.67%
	Total Expenditures	28,265,597	18,337,735	19,444,766	51.44%	66.67%
Total	General Fund		0	0		

FISCAL YEAR ENDING 06/30/2025		Year-To-Date by Amount			Variance	
Account	Description	BUDGET	FY 2024	FY 2025	YTD	Avg Yr %
121 State Street Aid						
REVENUES						
33450	State Grant - TIP Funds	0	1,847	0	0.00%	66.67%
33460	State Grant - HIP Funds	234,000	12,773	5,992	2.56%	66.67%
33550	2017 Gas Tax Improve	200,000	100,904	120,429	60.21%	66.67%
33551	State Gasoline And Motor Fuel Tax	570,000	342,155	336,450	59.03%	66.67%
33558	City Transport Mod Tax (Electric)	1,000	0	5,490	549.00%	66.67%
36100	Interest Earnings	200	124	21	10.31%	66.67%
36330	Sale of Equipment	0	0	0	0.00%	66.67%
	Use of Fund Balance	294,038	0		0.00%	66.67%
	Total Revenues and Other Sourc	1,299,238	457,804	468,382	39.74%	66.67%
EXPENDITURES						
43190	State Street Aid	2,919,949	190,447	159,106	12.25%	66.67%
	Total Expenditures	1,299,238	190,447	159,106	12.25%	66.67%
Total	State Street Aid Fund	0	267,357	309,276		

FISCAL YEAR ENDING 06/30/2025		Year-To-Date by Amount			Variance	
Account	Description	BUDGET	FY 2024	FY 2025	YTD	Avg Yr %
122 Grant Fund						
REVENUES						
33109	CSX Transportation Grant - 2022	0	0	0	0.00%	66.67%
33114	TML Driver Safety Grant	4,000	0	0	0.00%	66.67%
33120	TDOT 2015 Multi Modal Grant	0	0	0	0.00%	66.67%
33425	Aquatic Stream Clean Grant	1,000	0	0	0.00%	66.67%
33493	TML Safety Grant	3,000	3,000	0	0.00%	66.67%
36100	Interest Earnings	0	1	1	0.00%	66.67%
36420	Police Traffic Safety Grant	0	0	117	0.00%	66.67%
36421	TN AM Grants	0	1,000	1,000	0.00%	66.67%
36423	Animal Foundation Grants	425	425	0	0.00%	66.67%
36711	Safety Conservation Grant	4,000	0	0	0.00%	66.67%
36920	THS089-Police	0	0	0	0.00%	66.67%
36921	Homeland Security - Police	0	0	0	0.00%	66.67%
36922	Homeland Security - Fire	0	0	0	0.00%	66.67%
36925	Violent Crime Intervention Grant	0	123,322	0	0.00%	66.67%
	Use of Fund Balance	6,575	49,684	36,968	0.00%	66.67%
	Total Revenues and Other Sourc	19,000	177,431	38,085	8.99%	66.67%
EXPENDITURES						
43150	Grants	19,000	177,431	38,085	200.45%	66.67%
	Total Expenditures	19,000	177,431	38,085	200.45%	66.67%
Total	Grant Fund	0	0	0		

FISCAL YEAR ENDING 06/30/2025		Year-To-Date by Amount			Variance	
Account	Description	BUDGET	FY 2024	FY 2025	YTD	Avg Yr %
127 Drug Fund						
REVENUES						
33197	Federal/State Grants	10,000	6,175	6,789	67.89%	66.67%
33560	Seized/Awarded by State	35,000	37,376	6,936	19.82%	66.67%
35200	Drug Fines	20,000	7,861	6,809	34.04%	66.67%
35400	Sale of Confiscated Property	0	0	0	0.00%	66.67%
36990	Misc. Revenues	0	500	0	0.00%	66.67%
	Use of Fund Balance	139,402	0	35,970	0.00%	66.67%
	Total Revenues and Other Sources	204,402	51,912	56,505	31.59%	66.67%
EXPENDITURES						
42129	Drug Investigation and Control	204,402	6,726	56,505	27.64%	66.67%
	Total Expenditures	204,402	6,726	56,505	27.64%	66.67%
Total	Drug Investigation Fund	0	45,185	0		

FISCAL YEAR ENDING 06/30/2025		Year-To-Date by Amount			Variance	
Account	Description	BUDGET	FY 2024	FY 2025	YTD	Avg Yr %
130 Economic Development Fund						
REVENUE						
31611	Inc. Sales Tax (BR)	8,174,869	6,227,447	5,294,688	73.39%	66.67%
33191	Direct App. - State	0	0	0	0.00%	66.67%
36100	Interest Earnings	0	9	3	0.00%	66.67%
	Transfer In	0	0	0	0.00%	66.67%
	Use of Fund Balance	0	0	0	0.00%	66.67%
	Total Revenues and Other Sources	8,174,869	6,227,456	5,294,691	73.39%	66.67%
EXPENDITURES						
	Economic Development	6,787,697	5,155,927	5,294,688	78.00%	66.67%
	Debt Payment	1,387,172	0	0	0.00%	66.67%
	Total Expenditures	8,174,869	5,155,927	5,294,688	78.00%	66.67%
Total	Economic Development Fund	0	1,071,529	3		

FISCAL YEAR ENDING 06/30/2025		Year-To-Date by Amount			Variance	
Account	Description	BUDGET	FY 2024	FY 2025	YTD	Avg Yr %
131 Solid Waste Fund						
REVENUES						
33190	FEMA/TEMA 2021	0	0	0	0.00%	66.67%
34415	Delinquent Fees	0	0	8,468	0.00%	66.67%
34416	Sanitation Fees	1,580,200	1,066,702	1,083,734	68.58%	66.67%
34418	Extra Cans	1,500	1,290	1,080	72.00%	66.67%
34420	Dumpster Rentals	9,000	2,960	4,300	47.78%	66.67%
34422	Recycling - Transfer Station	4,000	3,743	3,929	98.23%	66.67%
34426	Sale Of Mulch	100	0	88	88.00%	66.67%
34430	Refuse Collection And Disposal	2,500	536	547	21.88%	66.67%
36330	Sale of Equipment	0	0	0	0.00%	66.67%
36350	Insurance Recoveries	0	0	0	0.00%	66.67%
	Use of Fund Balance	44,296	302,115	0	0.00%	66.67%
	Total Revenues and Other Sourc	1,641,596	1,377,346	1,102,147	69.00%	66.67%
EXPENDITURES						
43200	Solid Waste	1,641,596	1,377,346	1,033,735	62.97%	66.67%
	Total Expenditures	1,641,596	1,377,346	1,033,735	62.97%	66.67%
Total	Solid Waste Fund	0	0	68,411		

FISCAL YEAR ENDING 06/30/2025		Year-To-Date by Amount			Variance	
Account	Description	BUDGET	FY 2024	FY 2025	YTD	Avg Yr %
212 Debt Service Fund						
REVENUES						
31920	Room Occupancy Tax	750,000	443,586	565,531	75.40%	66.67%
36100	Interest Earnings	50,000	70,560	78,858	157.72%	66.67%
37940	Transfer In	1,731,833	329,480	0	0.00%	66.67%
	Use of Fund Balance	0	225,255	598,218	0.00%	66.67%
	Total Revenues and Other Sourc	2,531,833	1,068,881	1,242,607	25.45%	66.67%
EXPENDITURES						
49111	Camp Jordan - Phase Two - 2020	144,525	125,282	126,948	87.84%	66.67%
49114	Refunding Bond Issue - 2021	681,963	88,381	78,481	11.51%	66.67%
49300	Series 2022 Bond Issue	725,717	490,772	479,503	66.07%	66.67%
49310	2015 - Exit One/Capital Projects	206,813	208,875	206,813	100.00%	66.67%
49320	Capital Projects - Series 2024	0	0	151,311	0.00%	66.67%
49410	Public Safety Capital Outlay Note	0	0	43,795	100.00%	66.67%
49411	Public Safety Capital Outlay Note	0	0	0	0.00%	66.67%
49412	Public Safety - Lease Purchase	43,795	0	0	0.00%	66.67%
49413	Public Safety - Capital Outlay Note	105,508	102,041	102,227	96.89%	66.67%
49414	Public Safety - Lease Purchase	53,530	53,530	53,530	100.00%	66.67%
	Total Expenditures	1,961,851	1,068,881	1,242,607	63.34%	66.67%
Total	TML Loan Fund	569,982	0	0		

FISCAL YEAR ENDING 06/30/2025		Year-To-Date by Amount			Variance	
Account	Description	BUDGET	FY 2024	FY 2025	YTD	Avg Yr %
341 Capital Improvement Fund						
REVENUES						
33113	LPRF 2024 - C. CENTER	0	0	27,550	0.00%	66.67%
33120	2015 Multi Modal	0	0	0	0.00%	66.67%
36100	Interest	0	0	253,577	0.00%	66.67%
36421	TN Am Water Grant	0	0	0	0.00%	66.67%
36915	Bond Proceeds	12,000,000	2,289,244	1,186,650	6.36%	66.67%
36990	Misc. Revenues	0	0	0	0.00%	66.67%
36992	Hamilton County	1,000,000	0	0	0.00%	66.67%
37940	Operating Transfers - Other Funds	276,657	0	0	0.00%	66.67%
	Use of Fund Balance	176,319	437,464	1,559,261	0.00%	66.67%
	Total Revenues and Other Sourc	13,452,976	2,726,708	3,027,037	7.33%	66.67%
EXPENDITURES						
41100	Administrative	0	0	8,972	0.00%	66.67%
41800	Bldg/Grounds Maint.	400,000	188,196	184,499	46.12%	66.67%
41900	City Hall Complex	0	0	15,497	0.00%	66.67%
41920	Multi Purpose Pavillion	6,000,000	79,893	726,107	12.10%	66.67%
43110	Multi Modal Project	0	1,980,281	436,810	0.00%	66.67%
43121	N. Mack Smith	4,500,000	210,081	92,938	2.07%	66.67%
43122	Resurfacing Projects	937,976	1,800	20,558	2.19%	66.67%
43126	Spring Creek Project	0	0	88,517	0.00%	66.67%
44410	Parks & Recreation	1,440,000	46,248	1,283,872	89.16%	66.67%
44421	Splash Pad/Playground	0	0	0	0.00%	66.67%
44423	Dog Park - Town Center	0	0	0	0.00%	66.67%
44424	Animal Shelter Building	0	156,551	0	0.00%	66.67%
44425	Dickert Pond Pier	0	32,533	9,957	0.00%	66.67%
44426	Fuel Tank-Public Safety	125,000	0	0	0.00%	66.67%
44430	C Center Upgrad	0	11,035	135,840	0.00%	66.67%
44450	McBrien Complex	0	0	7,500	0.00%	66.67%
46511	Community Development	50,000	20,000	15,971	31.94%	66.67%
	Total Expenditures	13,452,976	2,726,618	3,027,037	22.50%	66.67%
Total	Capital Projects Fund	0	0	0		


FISCAL YEAR ENDING 06/30/2025		Year-To-Date by Amount			Variance	
Account	Description	BUDGET	FY 2024	FY 2025	YTD	Avg Yr %
410 ARPA Fund						
REVENUES						
37940	Transfer In	0	0	0	0.00%	66.67%
	Use of Fund Balance	436,171	780,580	868,482	0.00%	66.67%
	Total Revenues and Other Sourc	436,171	780,580	868,482	0.00%	66.67%
EXPENDITURES						
44424	Animal Shelter Facility	0	272,125	868,482	0.00%	66.67%
46490	Stormwater Projects - Ringgold Roa	436,171	507,455	0	0.00%	66.67%
	Total Expenditures	436,171	780,580	868,482	199.11%	66.67%
Total	Capital Projects Fund	0	0	0		

AGENDA MEMORANDUM

Charter Review Commission

April 10, 2025

Submitted By:



J. Scott Miller, City Manager

SUBJECT:

At the past regular business meetings of the East Ridge City Council, the Council briefly talked about the establishment of a Charter Review Committee. The mechanics of the Charter Review Committee has not been specifically talked about and resolved; ie. the number of persons to serve on the Committee, the appointment of the persons to the Committee, and the primary purpose of the Committee.

Or, the City Council could give consideration to the commissioning of MTAS to undertake a review of the City's Charter and forward to the City their comments and recommendations; as mentioned in the City Attorney's email dated April 7, 2025, a copy attached hereto.

Attachment

JSM/

Scott J. Miller

From: Mark Litchford <mark@CPLRLAW.com>
Sent: Monday, April 7, 2025 1:40 PM
To: Scott J. Miller; Brian Williams; David Tyler; Jacky Cagle; Jeff Ezell; Andrea Witt
Subject: Charter Update
Attachments: 974 Charter Changes 2014.pdf; EASTRIDG_CHT.pdf

CAUTION: This email originated from outside the organization and may contain unverified links. Do not click on links or open attachments unless you recognize the sender and know the content is safe.

All,

We are working with the Hamilton County Election Commission to obtain copies of past City Ordinances, Election Commission ballots regarding charter referendums, and previous drafts of the Charter. We are not certain if all amendments approved by referendum were incorporated into the charter. I will have sent an email to the EC chair Scott Allen inquiring about these matters.

Additionally, I have communicated with MTAS representatives. MTAS offers a service that reviews charters and makes recommendations. For those that may not be aware, MTAS is a municipal technical advisory service affiliated with the University of Tennessee that has significant research resources and experts on staff to assist partnering municipalities. We have used MTAS for several items over the years and they are a great source for assistance.

I will have an update for you at the council meeting this coming week.

Mark W. Litchford



423-529-5290 (Office)
423-280-6295 (Direct)
800-874-0680 (Facsimile)
mark@lpafirm.com
www.lpafirm.com

MAILING ADDRESS

P.O. Box 8127
Chattanooga, Tennessee 37414

TENNESSEE ADDRESS (Note New Address as of 1/15/24)

5726 Marlin Road
Franklin Building, Suite 511
Chattanooga, Tennessee 37411

RESOLUTION NO. 3671

AGENDA MEMORANDUM

**APPROVAL OF NOMINATION FOR APPOINTMENT BY
COUNCILMEMBER JACKY CAGLE
TO THE EAST RIDGE BOARD OF ZONING APPEALS**

April 10, 2025

Submitted by:



Jennifer Deitrick, City Clerk

Mac Pendley was appointed to the Board of Zoning Appeals for a three-term starting on April 9, 2022. The term expired on April 8, 2025.

Resolution No. 3671 is to approve Councilmember Jacky Cagle's nomination for appointment to the East Ridge Board of Zoning Appeals. The term will be effective April 10, 2025 through April 8, 2028.

RESOLUTION NO. 3671

A RESOLUTION OF THE EAST RIDGE CITY COUNCIL APPROVING FOR APPOINTMENT A NOMINATION BY COUNCILMEMBER JACKY CAGLE TO THE EAST RIDGE BOARD OF ZONING APPEALS

WHEREAS, pursuant to Section 14-301 of the East City Code, a Board of Zoning Appeals (the “Board”) has been created and established consisting of five (5) board member positions for three (3) year terms, all of whom must be residents of the City and approved by the City Council; and

WHEREAS, the City Council has historically allocated a Board position to each of the five (5) councilmembers for purposes of nominating a resident to a three (3) year term to be approved by the City Council pursuant to Section 14-301; and

WHEREAS, Councilmember Jacky Cagle nominated resident Mac Pendley in 2022 for a three (3) year term and he was approved by the City Council to serve in said term ending April 8, 2025; and

WHEREAS, Councilmember Jacky Cagle hereby nominates _____ for appointment to the Board of Zoning Appeals to serve a three (3) year term expiring April 8, 2028, which nomination must be approved by the City Council pursuant to Section 14-301.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of East Ridge, Tennessee, hereby approves the appointment of _____ to the East Ridge Board of Zoning Appeals for the term of April 10, 2025 – April 8, 2028.

BE IT FURTHER RESOLVED that this Resolution shall take effect immediately after its passage, the public welfare of the City requiring it.

Adopted this _____ day of _____ 2025.

Brian W. Williams, Mayor

ATTEST:

J. Scott Miller, City Manager

APPROVED AS TO FORM:

Mark W. Litchford, City Attorney

RESOLUTION NO. 3672

AGENDA MEMORANDUM

**APPROVAL OF NOMINATION FOR APPOINTMENT BY
VICE MAYOR DAVID TYLER
TO THE EAST RIDGE BOARD OF ZONING APPEALS**

April 10, 2025

Submitted by:



Jennifer Deitrick, City Clerk

Eric Zitzow was appointed to the Board of Zoning Appeals for a three-term starting on April 9, 2022. The term expired on April 8, 2025.

Resolution No. 3672 is to approve Vice Mayor David Tyler's nomination for appointment to the East Ridge Board of Zoning Appeals. The term will be effective April 10, 2025 through April 8, 2028.

RESOLUTION NO. 3672

A RESOLUTION OF THE EAST RIDGE CITY COUNCIL APPROVING FOR APPOINTMENT A NOMINATION BY VICE MAYOR DAVID TYLER TO THE EAST RIDGE BOARD OF ZONING APPEALS

WHEREAS, pursuant to Section 14-301 of the East City Code, a Board of Zoning Appeals (the “Board”) has been created and established consisting of five (5) board member positions for three (3) year terms, all of whom must be residents of the City and approved by the City Council; and

WHEREAS, the City Council has historically allocated a Board position to each of the five (5) councilmembers for purposes of nominating a resident to a three (3) year term to be approved by the City Council pursuant to Section 14-301; and

WHEREAS, Vice Mayor David Tyler nominated resident Eric Zitzow in 2022 for a three (3) year term and he was approved by the City Council to serve in said term ending April 8, 2025; and

WHEREAS, Vice Mayor Tyler hereby nominates _____ for appointment to the Board of Zoning Appeals to serve a three (3) year term expiring April 8, 2028, which nomination must be approved by the City Council pursuant to Section 14-301.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of East Ridge, Tennessee, hereby approves the appointment of _____ to the East Ridge Board of Zoning Appeals for the term of April 10, 2025 – April 8, 2028.

BE IT FURTHER RESOLVED that this Resolution shall take effect immediately after its passage, the public welfare of the City requiring it.

Adopted this _____ day of _____ 2025.

Brian W. Williams, Mayor

ATTEST:

J. Scott Miller, City Manager

APPROVED AS TO FORM:

Mark W. Litchford, City Attorney


RESOLUTION NO. 3673

AGENDA MEMORANDUM

NOMINATION FOR
INDUSTRIAL DEVELOPMENT BOARD
COUNCIL APPOINTMENT

April 10, 2025

Submitted By:



J. Scott Miller, City Manager

SUBJECT:

At the last regular business meeting of March 27, 2025, the City Council approved Resolution No. 3658 approving the nomination of Stan Allen to fill the unexpired term of Casey Tuggle on the East Ridge Industrial Development Board (IDB). Per the resolution, Mr. Stan Allen was approved by the City Council for a six (6) year term from June 12, 2024 to June 11, 2030.

The dates stated in Resolution No. 3658 are incorrect. Mr. Casey Tuggle resigned from the IDB by email sent to me dated March 26, 2025. His six (6) year term was set to expire on June 11, 2026. Therefore, Mr. Allen's term should commence on March 27, 2025, the date of the City Council's appointment, and end on June 11, 2026, the expiration date of Mr. Tuggle's term.

Resolution No. 3673, attached hereto, amends Resolution No. 3658 to reflect the correct dates.

Attachment

JSM/

RESOLUTION NO. 3673

A RESOLUTION OF THE EAST RIDGE CITY COUNCIL AMENDING RESOLUTION NO. 3658 TO REFLECT A CORRECTED TERM END DATE FOR THE COUNCIL APPOINTMENT TO FILL AN UNEXPIRED TERM ON THE EAST RIDGE INDUSTRIAL DEVELOPMENT BOARD

WHEREAS, the City of East Ridge, Tennessee established the East Ridge Industrial Development Board in accordance with T.C.A. § 6-2808 *et seq.* (now codified at T.C.A. § 7-53-101 *et seq.*) pursuant to a resolution duly adopted by the then Mayor and City Commission for the City of East Ridge on November 8, 1979; and

WHEREAS, in accordance with T.C.A. § 7-53-301, the City Council appointed Stan Allen to the East Ridge Industrial Development Board to fill an unexpired term and memorialized the appointment by adopting Resolution No. 3658 on March 27, 2025; and

WHEREAS, Resolution No. 3658 incorrectly listed the term end date for the appointment; and

WHEREAS, the City Council desires to correct the term end date to June 11, 2026, as originally intended.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of East Ridge, Tennessee, that Resolution No. 3658 is hereby amended to reflect the corrected term end date as June 11, 2026 for the appointment of Stan Allen to the East Ridge Industrial Development Board.

BE IT FURTHER RESOLVED that this Resolution shall take effect immediately after its passage, the public welfare of the City requiring it.

Adopted this _____ day of _____ 2025.

Brian W. Williams, Mayor

ATTEST:

J. Scott Miller, City Manager

APPROVED AS TO FORM:

Mark W. Litchford, City Attorney

RESOLUTION NO. 3674

AGENDA MEMORANDUM
CAMP JORDAN ARENA RENOVATION
APRIL 10TH, 2025

Submitted By:

Shawwna Skiles

Shawwna Skiles, Parks and Recreation Director

SUBJECT: Awarding Contract for Renovations to Camp Jordan Arena Restrooms

On March 26th, 2025, the Parks and Recreation Department opened sealed bids for the renovation of the restrooms within Camp Jordan Arena. We received four bids for this project, and after careful review, staff recommends awarding the contract to Integrated Builds, LLC, as they submitted the lowest bid.

Bid Tabulations:

- **Skilled Services:** \$224,700 (meets all bid specifications)
- **J. Brennan Construction Inc:** \$165,326 (meets all bid specifications)
- **FSH Construction LLC:** \$170,000 (meets all bid specifications)
- **Integrated Builds, LLC:** \$163,420 (meets all bid specifications)

This project will be funded by the bond taken out in 2024 for Camp Jordan and the Multi-Purpose Building.

Please review the bid tabulations and staff recommendation for approval.

SS

RESOLUTION NO. 3674

A RESOLUTION OF THE EAST RIDGE CITY COUNCIL APPROVING BIDS FOR THE RENOVATION OF THE RESTROOMS WITHIN CAMP JORDAN ARENA

WHEREAS, on March 2, 2025, the City of East Ridge advertised for bids for restroom renovations within Camp Jordan Arena; and

WHEREAS, sealed bids were opened and publicly read on March 26, 2025, at 2:30 p.m. EST, at the East Ridge City Hall; and

WHEREAS, City staff has maintained a file of the bids which were submitted; and

WHEREAS, after conducting a public bid opening and after reviewing the bid documents, City staff recommends the bid for restroom renovations within Camp Jordan Arena be awarded to Integrated Builds, LLC in the amount of \$163,420.00.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF EAST RIDGE, TENNESSEE, that the bid for restroom renovations within Camp Jordan Arena be awarded to Integrated Builds, LLC in the amount of \$163,420.00.

BE IT FURTHER RESOLVED that the Mayor, or his designee, is hereby authorized to execute any contract or agreement necessary between the City of East Ridge and Integrated Builds, LLC, subject to approval of the City Attorney, in the amount stated herein.

BE IT FURTHER AND FINALLY RESOLVED that this resolution shall take effect immediately after its passage, the public welfare of the City requiring it.

Adopted this _____ day of _____, 2025.

Brian W. Williams, Mayor

Attest:

J. Scott Miller, City Manager

Approved as to Form:

Mark W. Litchford, City Attorney



City of East Ridge

1517 Tombras Avenue
East Ridge, Tennessee 37412
(423)867-7711 • www.eastridgetn.gov

Parks and Recreation
Shawna Skiles

CAMP JORDAN ARENA RENOVATIONS

BID SPECIFICATIONS

Bid Opening

Wednesday, March 26, 2025, at 2:30pm EST

**East Ridge City Hall
1517 Tombras Avenue
East Ridge, TN 37412**

The City of East Ridge Parks and Recreation Department is accepting bids for the renovation of two restrooms in Camp Jordan Arena. The General Conditions and Specifications are stated below. To be considered for this bid, interested parties must submit bids on or before 2:30 pm, EST, Wednesday, March 26, 2025, at City Hall, 1517 Tombras Avenue, East Ridge, TN 37412.

INSTRUCTIONS FOR BID SUBMISSIONS

All sealed bids must be submitted to the Office of the City Recorder clearly marked “**Camp Jordan Arena Renovation 3/26/25**” on the sealed bid envelope. Any interpretations, clarifications, or additional information not disclosed in this bid packet and determined to be necessary by the City in response to questions, will be issued by means of addendum or addenda, which addendum or addenda will be posted to the City website, https://www.eastridgetn.gov/business_economic_dev.html, to all interested parties identified by the City as having received the bid documents. The Bidder is required to check the website to see if there has been any addendum or addenda posted for this Bid. Only questions answered and information supplied by means of such an addendum or addenda will be considered binding.

SERVICES REQUIRED

This project must be completed around the events already scheduled in the Arena. Once a contract is awarded, the project must be completed within 180 days of notice to proceed. Attached, you will find a materials list and layout for the restroom renovations, detailing specific requirements for product and materials. The products and materials specified and proposed in the pictures set forth the minimum standards acceptable to the city; and they must be comparable, or equal, to the brand name as stated in the detailed specifications.

The contractor, in undertaking the work under this contract, is assumed to have visited the premises and to have taken into consideration all the conditions which might affect the work. No consideration will be given to any claims based on lack of knowledge of existing conditions.

To arrange a site visit, please contact Shawna Skiles at sskiles@eastridgetn.gov or Chad Ayers at cayers@eastridgetn.gov. Appointments can be scheduled Monday-Thursday between the hours of 9am-2pm.

Brian Williams
Mayor

David Tyler
Vice Mayor

Jacky Cagle
Councilmember

Andrea Witt
Councilmember

Jeff Ezell
Councilmember

J. Scott Miller
City Manager

SCOPE OF WORK

Men's Restrooms

- **Demolition:** Remove eight (8) flush mount toilets, remove eight (8) urinals, remove five (5) sinks, faucets and mirrors, all toilet partitions, rubber baseboards, and repair all damage to the walls after demolition of the men's restroom.
- **Plumbing rough in-**Rough in seven (7) flush toilets, rough in one (1) ADA toilet, rough in one (1) ADA Urinal, rough in seven (7) regular urinals, rough in five (5) faucets- Reverse the configuration of the men's handicap restroom stall to make it ADA compliant.
- **Painting-**Repair all sheetrock, prep walls for painting, and paint all walls with Super paint from Sherwin Williams. (SW 7653 Silverpoint)
- **Tile-**Prep walls for tile in the entrance of the restroom walls and sink area. Install tile 7' high, and grout. Tile examples will be provided in material packet.
- **Toilet Partitions-** Install eight (8) sets of toilet partitions.
- **Concrete-**Repair any concrete that is damaged, pressure wash concrete, and paint concrete with epoxy paint.
- **Miscellaneous-**Install rubber baseboards, install mirrors (5) size 18" by 30". Install two (2) new water fountains in the lobby.
- **Trim out-**Install eight (8) sensor flush mount toilets, install eight (8) sensor urinals, install five (5) sensor oval sinks, and install five (5) sensor faucets.
- **Clean site-**Contractor will supply the dumpster.

Women's Restrooms

- **Demolition-**Remove fourteen (14) flush mount toilets, all sinks, faucets, mirrors, all toilet partitions, rubber baseboards and repair all damage to the walls after demolition of the women's restroom.
- **Plumbing rough in-**Rough in fourteen (14) flush toilets, rough in one (1) ADA toilet, rough in five (5) faucets. Reverse the configuration of the women's handicap restroom stall to make it ADA compliant.
- **Painting-**Repair all sheetrock, prep walls for painting, and paint all walls with Super paint from Sherwin Williams. (SW 7653 Silverpoint)
- **Tile-**Prep walls for tiles in the entrance of the restroom walls and sink area. Install tile 7' high, and grout. Tile examples will be provided in material packets.
- **Toilet Partitions-**Install fifteen (15) sets of toilet partitions.
- **Concrete-**Repair any concrete that is damaged, pressure wash concrete, and paint concrete with epoxy paint.
- **Miscellaneous-**Install rubber baseboards, install (5) mirrors size 18" x 30".
- **Trim out-** Install fifteen (15) flush mount sensor toilets and install five (5) sensor faucets.

CAMP JORDAN ARENA RENOVATION

BID SHEET

Bid Opening

Wednesday, March 26, 2025, at 2:30 pm EST

East Ridge City Hall

1517 Tombras Avenue

East Ridge, TN 37412


COMPANY Integrated Builds, LLC

ADDRESS: 1310 East End Ave.
East Ridge, TN 37412

PHONE: 423-643-8448

E-MAIL: JClinard@integratedbuilds.com

PRINT NAME: Jon Clinard

SIGNED: 

DATE: March 26, 2025

TOTAL BID PRICE: \$163,420.00

- This bid and the pricing structure contained herein will remain firm for a period of 90 days from date and time of the bid opening.
 - CEILING ; ELECTRICAL WORK ASSOCIATED WITH HANDICAP STALLS IS NOT INCLUDED.
THIS WORK WILL BE ADDITIONAL IF NOT HANDLED BY CITY OF EAST RIDGE.
 - PERMIT FEES ARE ASSUMED TO BE WAIVED ; NOT INCLUDED WITH THIS BID.

RESOLUTION NO. 3675

AGENDA MEMORANDUM

**AMENDING RESOLUTION NO. 3657 TO CORRECT THE PROCESS
FOR APPOINTING COUNCILMEMBER ANDREA WITT'S NOMINATION
TO THE EAST RIDGE HOUSING COMMISSION**

April 10, 2025

Submitted by:



Jennifer Deitrick, City Clerk

At the last regular council meeting of March 27, 2025, the City Council approved Resolution No. 3657 memorializing Councilmember Andrea Witt's nomination of James Meyers to the Housing Commission to fill the unexpired term of Jeff Ezell. Section 13-303 of the East Ridge City Code requires that the City Council approve the nomination for appointment to the Housing Commission.

Resolution No. 3675 is to correct the process of Mr. Meyer's appointment which should have been approved by the City Council instead of memorializing Councilmember Witt's nomination.

RESOLUTION NO. 3675

A RESOLUTION OF THE EAST RIDGE CITY COUNCIL AMENDING RESOLUTION NO. 3657 TO CORRECT THE PROCESS FOR APPOINTING COUNCILMEMBER ANDREA WITT'S NOMINATION OF JAMES MYERS TO FILL AN UNEXPIRED TERM TO THE EAST RIDGE HOUSING COMMISSION

WHEREAS, pursuant to Section 13-303 of the East Ridge City Code, the City of East Ridge, Tennessee, established the East Ridge Housing Commission (the "Commission") consisting of five (5) commission member positions for three (3) years terms, all of whom must be residents of the City and approved by the City Council; and

WHEREAS, the City Council has historically allocated a Commission position to each of the five (5) councilmembers for purposes of appointing a resident to a three (3) year term with such appointment being memorialized by the City Council by resolution; and

WHEREAS, Section 13-303 requires that the City Council approve the appointments and does not permit Councilmembers the unilateral right to appoint commissioners to the Housing Commission; and

WHEREAS, on March 27, 2025, the City Council passed Resolution No. 3657 memorializing Councilmember Andrea Witt's nomination of James Meyers to the Housing Commission to fill the unexpired term of Jeff Ezell; and

WHEREAS, the purpose of this Resolution is to correct the process of Mr. Meyer's appointment which should have been approved by the City Council instead of memorializing Councilmember Witt's nomination.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of East Ridge, Tennessee, that Resolution No. 3657 is hereby amended to reflect that the City Council approves the appointment of James Meyers to the East Ridge Housing Commission upon the nomination of Councilmember Witt to fill the unexpired term of Jeff Ezel, ending August 24, 2026.

BE IT FURTHER RESOLVED that this Resolution shall take effect immediately after its passage, the public welfare of the City requiring it.

Adopted this _____ day of _____ 2025.

Brian W. Williams, Mayor

ATTEST:

J. Scott Miller, City Manager

APPROVED AS TO FORM:

Mark W. Litchford, City Attorney

AGENDA MEMORANDUM

Sign Variance

Date: April 24th, 2025

Submitted by:



Michael Howell, Chief Building Official

SUBJECT:

Huston Woodis, representing Huston General Sign Company, is requesting a variance on behalf of BKW Properties, LLC, to install two signs at the site of the proposed Whataburger location at 6521 Ringgold Road. Mr. Woodis is seeking the city council's approval for a 90-foot pylon sign with two sign faces, 363 square feet in size, and a monument sign 12 feet in height with two sign faces, 66 square feet in size.

Sign Ordinance 1028 allows for one detached on-premises sign per lot, which may be in the form of a ground or monument sign. Each sign face is limited to 50 square feet, and the maximum height of the sign is 9 feet.

BKW Properties, LLC
3326 Jenkins Road, Suite 101
Chattanooga, TN 37421

March 13, 2025

City of East Ridge
East Ridge, TN

To Whom It May Concern,

RE: Authorization Letter by BKW Properties, LLC at 3326 Jenkins Rd, Suite 101, Chattanooga,
TN 37421

I, Tathia Mattila, as authorized representative, and agent of BKW Properties, LLC, the owner of the aforementioned property, do hereby grant approval and permission for General Signs to request a permit variance at our property as a part of the new Whataburger project currently being constructed. Please let me know if you need any further information.

Regards,



Tathia Mattila
Director of Operations
BKW Properties, LLC

GENERAL SITE NOTES

PARCEL AREA: 47,316 SF (1.086 ±AC)

ZONING: C-1. TOURISM COMMERCIAL DISTRICT.

REQUIRED BUILDING SETBACKS:
 FRONT (W): 25' ALONG PUBLIC STREET
 FRONT (S): 25' ALONG ROW
 SIDE (N): N/A, BUT BUILDINGS TO BE MINIMUM 10' APART
 REAR (E): N/A

PARKING REQUIREMENT: 1 SPACE PER 3 SEATS. ONE ADA REQUIRED SPACE PER 25 SPACES. 45 SEATS = 15 SPACES REQUIRED. 43 PROVIDED.

EXISTING SITE CONDITIONS: THE SITE IS A DEVELOPED, 1.086 ACRE PARCEL WITH A VACANT WALLY'S RESTAURANT WITHIN EAST RIDGE, TN, HAMILTON COUNTY.

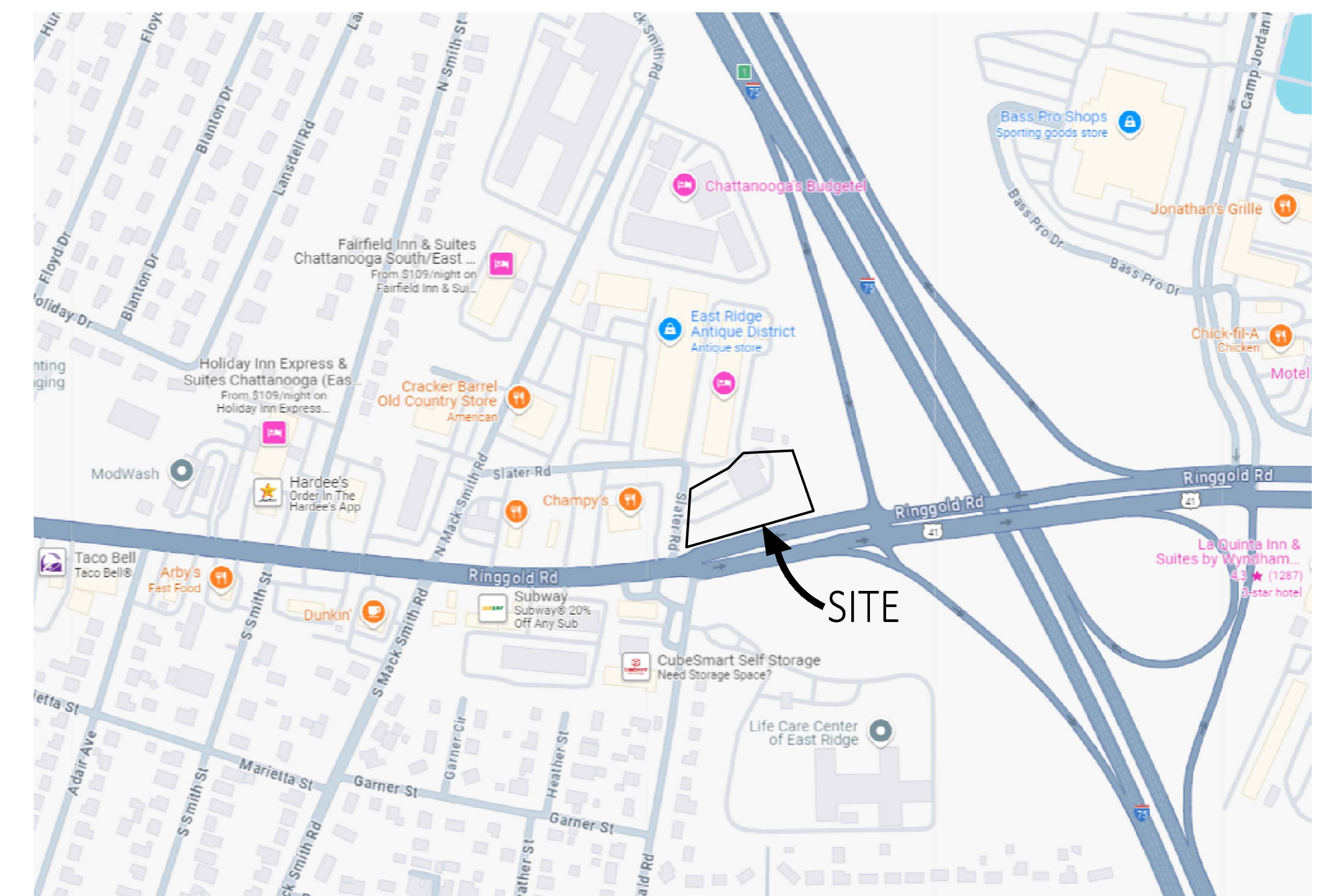
QUEING/STACKING - LANE A = 7 CARS; LANE B = 8 CARS. TOTAL STACKING = 15 CARS.

FUTURE LAND USE: COMMERCIAL DEVELOPMENT.

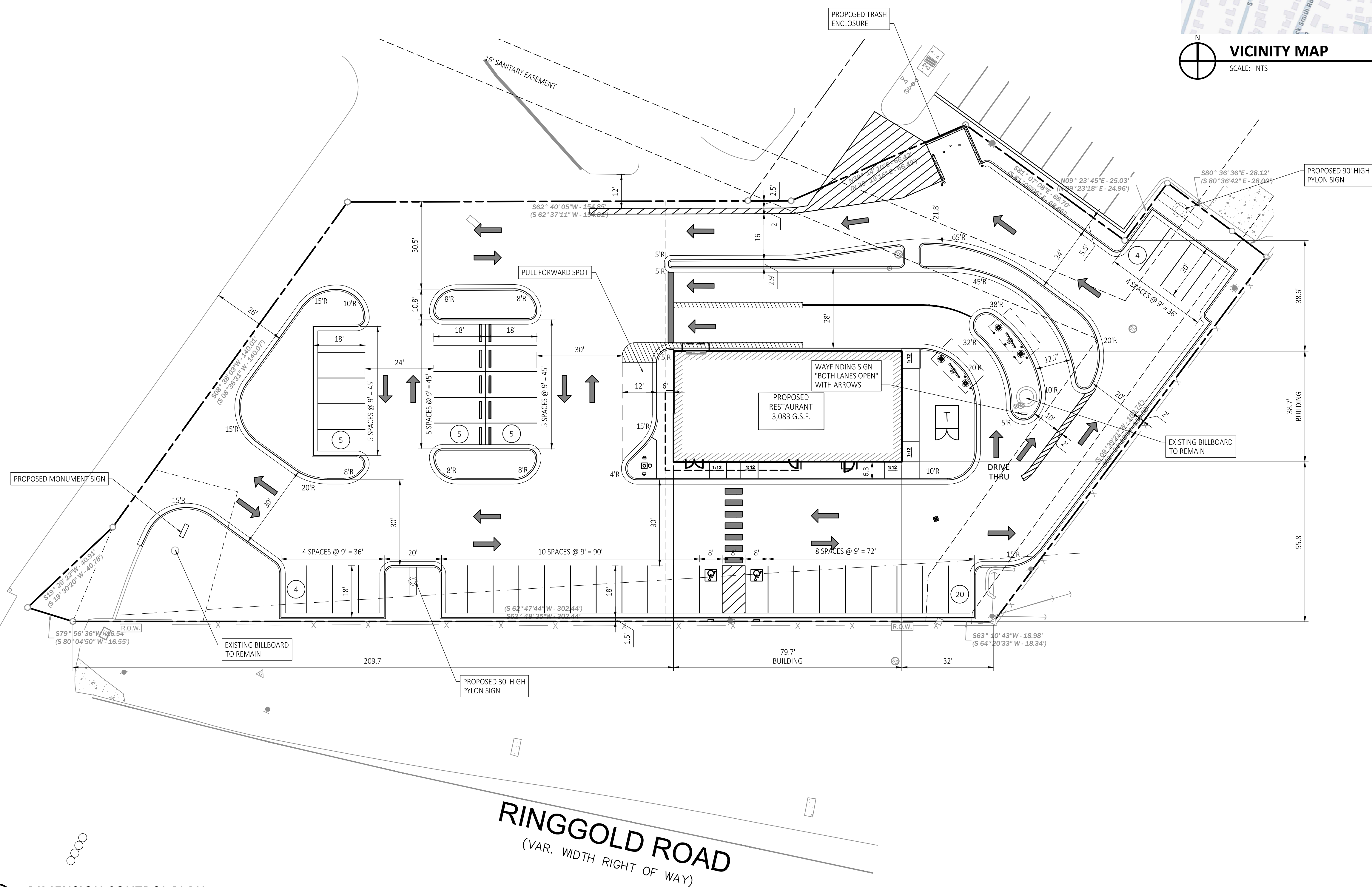
LANDSCAPE: LANDSCAPE PLAN SHALL BE SUBMITTED AS PART OF THE PLANNING DEPARTMENT APPLICATION.

LIGHTING: FOLLOW CITY LIGHTING REQUIREMENTS.

SIGNAGE: GROUND SIGN: TO FOLLOW CITY REQUIREMENTS.



VICINITY MAP
SCALE: NTS



RINGGOLD ROAD
(VAR. WIDTH RIGHT OF WAY)

DIMENSION CONTROL PLAN
SCALE: 1" = 20'-0"



SEAL
I HEREBY CERTIFY THAT THESE DRAWINGS
HAVE BEEN PREPARED UNDER MY DIRECT
SUPERVISION AND THAT TO THE BEST OF MY
KNOWLEDGE AND BELIEF, THEY COMPLY WITH THE
BUILDING CODES AND ORDINANCES OF THE
LOCAL MUNICIPALITY.

REVISIONS

REV.	DATE	DESCRIPTION
0	12.27.2024	CLIENT REVIEW
1	01.02.2025	CLIENT REVIEW

CONSULTANTS

PROJECT INFORMATION
DIMENSION CONTROL PLAN - OPTION 2
MAHOGANY WHATABURGER
6521 RINGGOLD ROAD
CHATTONOOGA, TN 37412
(HAMILTON COUNTY)

SHEET MANAGEMENT

PROJECT NUMBER:	EAST RIDGE - RINGGOLD RD
ISSUED DATE:	12.27.2024
DRAWN BY:	KA
CHECKED BY:	OP
PROJ. MGR:	TK

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SHEET NUMBER

C1.20

FILE: Z:\Shared\Clients\Mahogany\WB New Build - East Tennessee\East Ridge - Ringgold Rd\DC\DC\Comp\Sevan\Submittal\Opt2_Rev1.dwg
PLOT: 12/28/2024 7:54 PM BY: P.HARRIS, OVERSOLD

Limits of liability extend only to the work detailed, for the quantity of assemblies indicated (1 unless noted otherwise), at the location specified, and by the client listed; use of these plans and/or corresponding structural calculations in violation of either voids all liability.

GENERAL

- 1. ALL MATERIALS AND WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2018 INTERNATIONAL BUILDING CODE (IBC).
2. CONSTRUCTION METHODS AND PROJECT SAFETY: DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE METHODS, PROCEDURES, OR SEQUENCE OF CONSTRUCTION. TAKE NECESSARY PRECAUTIONS TO MAINTAIN AND ENSURE THE INTEGRITY OF THE STRUCTURE DURING CONSTRUCTION. THE EOR WILL NOT ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS.
3. VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES OR INCONSISTENCIES THAT ARE FOUND. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS.
4. ALL OMISSIONS AND/OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND FIELD INSPECTOR. THE ENGINEER SHALL PROVIDE A SOLUTION PRIOR TO PROCEEDING WITH ANY WORK AFFECTED BY THE CONFLICT OR OMISSION.
5. WHERE NO CONSTRUCTION DETAILS ARE SHOWN OR NOTED FOR ANY PART OF THE WORK, USE THOSE FOR OTHER SIMILAR WORK.
6. WHEN A DETAIL IS IDENTIFIED AS TYPICAL, APPLY IN ESTIMATING AND CONSTRUCTION TO EVERY LIKE CONDITION WHETHER OR NOT THE REFERENCE IS REPEATED IN EVERY INSTANCE.
7. CHANGES TO THE DRAWINGS: OBTAIN PRIOR WRITTEN APPROVAL.
8. WORK PERFORMED IN CONFLICT WITH THE DRAWINGS OR APPLICABLE BUILDING CODE REQUIREMENTS SHALL BE CORRECTED AT THE EXPENSE OF THE CONTRACTOR.

DESIGN CRITERIA

- 1. STRUCTURE IS DESIGNED IN ACCORDANCE WITH ASCE 7-16: MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES.
2. WIND LOAD: BASIC WIND SPEED, VULT = 105 MPH MAXIMUM RISK CATEGORY: II EXPOSURE: C
3. SNOW LOAD: IMPORTANCE FACTOR, Is = 1.0 SURFACE ROUGHNESS: C EXPOSURE: C
GROUND --- 10 PSF MAXIMUM. ROOF --- PSF
4. ROOF LIVE LOAD: --- PSF

STEEL

- 1. STEEL SHAPES SHALL CONFORM TO THE FOLLOWING (U.N.O.): RND. H55 ASTM A500, GR. C Fy=46 KSI MIN. SQ./RECT. H55 ASTM A500, GR. C Fy=50 KSI MIN. THREADED ROD ASTM A36 Fy=36 KSI MIN. STEEL PLATE ASTM A36 Fy=36 KSI MIN. ANGLE & CHANNEL ASTM A36 Fy=36 KSI MIN. STD. PIPE ASTM A53, GR. B Fy=35 KSI MIN. STRUCT. PIPE ASTM A252, GR. 3 Fy=45 KSI MIN. WIDE FLANGE ASTM A992 Fy=50 KSI MIN.
2. MACHINE BOLTS SPECIFIED AS "A307" SHALL CONFORM TO ASTM A307 w/ NUTS PER ASTM A563A & WASHERS PER ASTM F844 (U.N.O.). THREADED PARTS, NUTS, AND WASHERS SHALL BE HDG OR ZP AS DEFINED HEREIN.
3. STRUCTURAL BOLTS SHALL CONFORM TO ASTM F3125 GRADES A325 OR A490 AS SPECIFIED ("A325" OR "A490") w/ NUTS PER ASTM A563DH & WASHERS PER ASTM F436.
A. WHERE DESIGNATED AS "-X", CARE MUST BE TAKEN TO ENSURE THREADS ARE EXCLUDED FROM THE SHEAR PLANE(S).
B. WHERE DESIGNATED AS "-N" OR IF NO DESIGNATION IS NOTED, THREADS MAY BE INCLUDED IN THE SHEAR PLANE(S).
C. WHERE SPECIFIED, "A325" MAY BE HDG OR ZP AS DEFINED HEREIN.
D. GRADE "A490" SHALL NOT BE HDG OR ZP AS DEFINED HEREIN.
4. ANCHORS CAST IN CONCRETE SHALL CONFORM TO ASTM F1554 GR. 36 (U.N.O.) w/ NUTS TO ASTM A563 AND WASHERS TO ASTM F436. PARTS SHALL BE HOT-DIP GALVANIZED (HDG) OR ZINC (MECHANICAL) PLATED (ZP). PARTS EMBEDDED ENTIRELY IN CONCRETE MAY BE PLAIN STEEL.
5. WHERE SPECIFIED FOR STEEL THREADED PARTS, NUTS, AND WASHERS, HOT-DIP GALVANIZING (HDG) SHALL CONFORM TO ASTM F2329 AND ZINC (MECHANICAL) PLATING (ZP) TO CLASS 55 PER ASTM B695.
6. PLAIN STEEL FASTENERS ARE NOT TO BE USED UNLESS SPECIFIED.
7. ZINC ELECTRO-PLATED FASTENERS PER ASTM F1941 MAY BE SUBSTITUTED FOR INTERIOR APPLICATIONS, BUT ARE OTHERWISE NOT TO BE USED UNLESS SPECIFIED.
8. NUTS AND WASHERS SHALL HAVE THE SAME COATING AS THE CORRESPONDING THREADED PART.
9. WHERE SPECIFIED, IRON AND STEEL HARDWARE SHALL BE HOT-DIP GALVANIZED PER ASTM A153.
10. STAINLESS STEEL (SS) BOLTS, STUDS, AND THREADED ROD SHALL CONFORM TO ASTM F593 AND BE ALLOY 304 OR 316 w/ NUTS TO ASTM F594. NUTS AND WASHERS SHALL MATCH THE ALLOY OF THE THREADED PART.
11. WELDING:
A. WELD STRUCTURAL STEEL IN COMPLIANCE WITH ANS/AWS D1.1 AND AISC SPECIFICATION, CHAPTER J. WELDERS SHALL BE CERTIFIED AS REQUIRED BY THE LOCAL BUILDING AUTHORITY. WELDING SHALL BE DONE BY ELECTRIC ARC PROCESS USING LOW-HYDROGEN ELECTRODES WITH SPECIFIED TENSILE STRENGTH NOT LESS THAN 70 KSI UNLESS NOTED OTHERWISE.
B. UNLESS A LARGER WELD SIZE IS INDICATED, PROVIDE MINIMUM SIZE WELD PER AISC SPECIFICATION, SECTION J2, TABLE J2.4.

ALUMINUM

- 1. FABRICATE AND ERECT ALUMINUM IN COMPLIANCE WITH THE 2015 ALUMINUM DESIGN MANUAL (ADM1), THE SPECIFICATIONS FOR ALUMINUM SHEET METAL WORK (ASM35), AND CHAPTER 20 OF THE BUILDING CODE.
2. ALUMINUM SHAPES SHALL CONFORM TO THE FOLLOWING: PIPE & TUBE 6061-T6 ASTM B429 Fy=35 KSI MIN. STRUCT. PROFILES 6061-T6 ASTM B308 Fy=35 KSI MIN. SHEET & PLATE 6061-T6 ASTM B209 Fy=35 KSI MIN. STAPLE TUBE 6063-T5 ASTM B221 Fy=16 KSI MIN.

- 3. ALL SHOP AND FIELD WELDS SHALL BE PERFORMED BY AN AISC QUALITY CERTIFIED FABRICATOR.
4. UNLESS A LARGER WELD SIZE IS INDICATED, PROVIDE MINIMUM SIZE WELD PER ADM 1.
5. FILLER SHALL BE 5556 ALLOY REGARDLESS OF MEMBER THICKNESS. NO OTHER FILLER ALLOY SHALL BE USED UNLESS NOTED OTHERWISE.

CONCRETE & REINFORCEMENT

- 1. MINIMUM 28-DAY COMPRESSIVE STRENGTH (fc) SHALL BE 2,500 PSI.
2. REINFORCEMENT TO BE ASTM A615 GR. 60, Fy=60 KSI UNO.
3. CALCIUM CHLORIDE OR ADDED CHLORIDE IS NOT PERMITTED.
4. ALL REINFORCED CONCRETE SHALL BE CONSOLIDATED WITH MECHANICAL VIBRATORS.
5. MINIMUM CONCRETE COVER: CAST AGAINST & EXPOSED TO EARTH 3" EXPOSED TO EARTH OR WEATHER 2"
6. CHAIRS AND SPACERS: AS REQUIRED TO MAINTAIN COVER.
7. SIGN MAY BE INSTALLED ON FOUNDATION AFTER A MINIMUM CURING TIME OF (14) DAYS PROVIDED CURING PROCESS IS PROPERLY MAINTAINED PER ACI 318.
8. GROUT SHALL BE NON-SHRINK AND NON-METALLIC WITH A MINIMUM COMPRESSIVE STRENGTH OF 5,000 PSI AT (1) DAY. MIX AND PLACE IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS.

FOUNDATIONS

- 1. DESIGN BEARING PRESSURES ARE PER IBC CLASS 4 PRESUMPTIVE VALUES (NO SPECIAL INSPECTION REQUIRED): LATERAL BEARING: 150 PSF/FT VERTICAL BEARING: 2,000 PSF

EXISTING CONDITIONS

- 1. ENGINEER WILL NOT BE PERFORMING ON-SITE INSPECTIONS OR VERIFICATIONS. IT IS THE RESPONSIBILITY OF THE INSTALLER AND OWNER(S) TO IDENTIFY EXISTING CONDITIONS AND CONTACT ENGINEER WITH ANY DISCREPANCIES OR CONCERNS.
2. EXISTING INFORMATION HAS BEEN FURNISHED BY THE ENTITY WHOM THIS DOCUMENT WAS PREPARED FOR. ENGINEER IN NO WAY CERTIFIES THIS INFORMATION AS "AS-BUILT".
3. FEATURES OF WORK ANNOTATED AS "VERIFY" (OR SIMILAR) MUST BE INSPECTED, VERIFIED AS SUCH, AND DOCUMENTED PRIOR TO FABRICATION AND INSTALLATION.
4. IF THERE IS ANY REASON TO BELIEVE THE EXISTING CONDITIONS DETAILED HEREIN ARE NOT ACCURATE, CONTRACTOR SHALL CEASE WORK AND NOTIFY ENGINEER IMMEDIATELY.
5. CONTRACTOR SHALL INSPECT AND CONFIRM THE QUALITY OF EXISTING STRUCTURE AS "IN GOOD REPAIR". STRUCTURE SHALL BE FREE OF CORROSION, DECAY, AND ANY OTHER MATERIAL, FABRICATION, ASSEMBLY, OR INSTALLATION DEFECT. IF THERE ARE ANY INDICATIONS THAT THIS IS NOT THE CASE, CONTRACTOR SHALL CEASE WORK IMMEDIATELY AND NOTIFY ENGINEER.

EVALUATION REPORT SCHEDULE

ANCHORS, FASTENERS, AND OTHER PRODUCTS SHALL CONFORM TO AND BE INSTALLED PER THEIR RESPECTIVE EVALUATION REPORT(S) AS FOLLOWS (NOT ALL APPLICABLE THIS PROJECT):

Table with 2 columns: ANCHOR TYPE and REPORT #. Lists various anchor types like HILTI KB-T22, HILTI KH-EZ, HILTI HIT-HY, SIMPSON TITEN HD, TAPCON ANCHORS, and ITW BUILDEX, along with their respective report numbers.

ABBREVIATIONS

Table with 3 columns: Abbreviation, Description, and Material/Type. Lists abbreviations such as ABV., ADD'L., AFF., ALT., ALUM., A.O.R., ARCH., BTM., BLK.G., CIRC., CONC., CONN., CONT., CTR., DIA., DET., (E), EXIST., EA., E.W., ELEV., EMBED., E.O.R., FAB., FDN., FRM.G., FTG., F.V., G.C., HDG., HOR., O.C., L.O.C., MAX., MIN., (N), N.T.E., O/, O.D., OPT., PENE., REINF., RND., SIM., SS, STD, SUPP., SQ., T/O, TYP., THK., U.N.O., VERT., W/TH, W/O, ZP, and their corresponding full names.

MANUFACTURED SIGN CABINETS

UNLESS NOTED OTHERWISE, MANUFACTURED SIGN CABINETS SHALL BE DESIGNED BY THE MANUFACTURER/FABRICATOR OR OTHER COMPETENT PARTY AND FABRICATED IN ACCORDANCE WITH ALL APPLICABLE CODES, UL LISTINGS, LOCAL ORDINANCES, AND INDUSTRY STANDARDS. THIS INCLUDES FACES AND CLADDING, INTERNAL STRUCTURE, ELECTRICAL, AND ALL OTHER ACCESSORY COMPONENTS.

THE MANUFACTURER/FABRICATOR IS RESPONSIBLE FOR ENSURING ALL CABINETS ARE ASSEMBLED WITH ADEQUATE INTERNAL FRAMING AND STIFFNESS. CABINET FRAMING SHALL BE CAPABLE OF DELIVERING ALL IMPOSED DESIGN LOADS (WIND, SEISMIC, DEAD, SNOW, ETC.) DIRECTLY TO THE STRUCTURAL CONNECTIONS OR ELEMENTS DETAILED HEREIN. CABINET FRAMING SHALL LIMIT EXCESSIVE VIBRATION, DRIFT, OR DEFLECTION TO REASONABLE LEVELS.

FAILURE TO PROVIDE AN ADEQUATE LOAD PATH OR SUFFICIENT CABINET STIFFNESS MAY RESULT IN EXCESSIVE VIBRATION, DRIFT, OR DEFLECTION WHICH MAY YIELD SECOND-ORDER EFFECTS THAT CAN NEGATIVELY AFFECT THE PERFORMANCE OF THE STRUCTURAL CONNECTIONS OR ELEMENTS DETAILED HEREIN.

REVERENCE ENGINEERING MAKES NO CLAIMS AS TO THE SUITABILITY OF MANUFACTURED SIGN CABINETS IDENTIFIED AS "BY MFR." OR "BY FAB." WHICH HAVE NOT BEEN ENGINEERED, CERTIFIED, OR REVIEWED BY REVERENCE ENGINEERING UNLESS SPECIFICALLY CONTRACTED OTHERWISE AND DETAILED OR NOTED HEREIN.

THIS AREA INTENTIONALLY LEFT BLANK

DESIGN BY OTHERS NOTE

REVERENCE ENGINEERING IN NO WAY CERTIFIES OR MAKES CLAIMS TO THE SUITABILITY OF CONDITIONS OR ELEMENTS (EXISTING OR NEW) THAT ARE DESIGNED BY OTHERS. SUCH CONDITIONS AND ELEMENTS ARE IDENTIFIED AS "BY OTHERS" OR "DESIGNED" BY OTHERS" AND ARE NOT ENGINEERED BY REVERENCE ENGINEERING.

THE SCOPE OF ENGINEERING HEREIN ASSUMES THESE ELEMENTS HAVE BEEN, OR WILL BE, DESIGNED OR CHECKED FOR SUITABILITY BY A DESIGN PROFESSIONAL.

ELECTRICAL NOTE

ELECTRIC COMPONENTS AND WIRING ARE NOT DESIGNED BY REVERENCE ENGINEERING. FABRICATOR AND INSTALLER SHALL COMPLY WITH THE CURRENT VERSION OF THE ADOPTED NATIONAL ELECTRIC CODE (NEC) AND ARTICLE 600: "ELECTRIC SIGNS AND OUTLINE LIGHTING".



www.reverenceengineering.com
(619) 354-1152
501 W BROADWAY, STE 425
SAN DIEGO, CA 92101

PREPARED FOR:

PATTISON ID

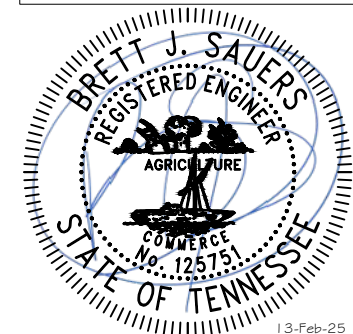
PROJECT #:

2502050

WHATABURGER SIGN PACKAGE

6521 RINGGOLD RD
EAST RIDGE, TN

Table with 3 columns: No., Issue/Revision, Date. Shows Initial Submittal on 2-13-2025.



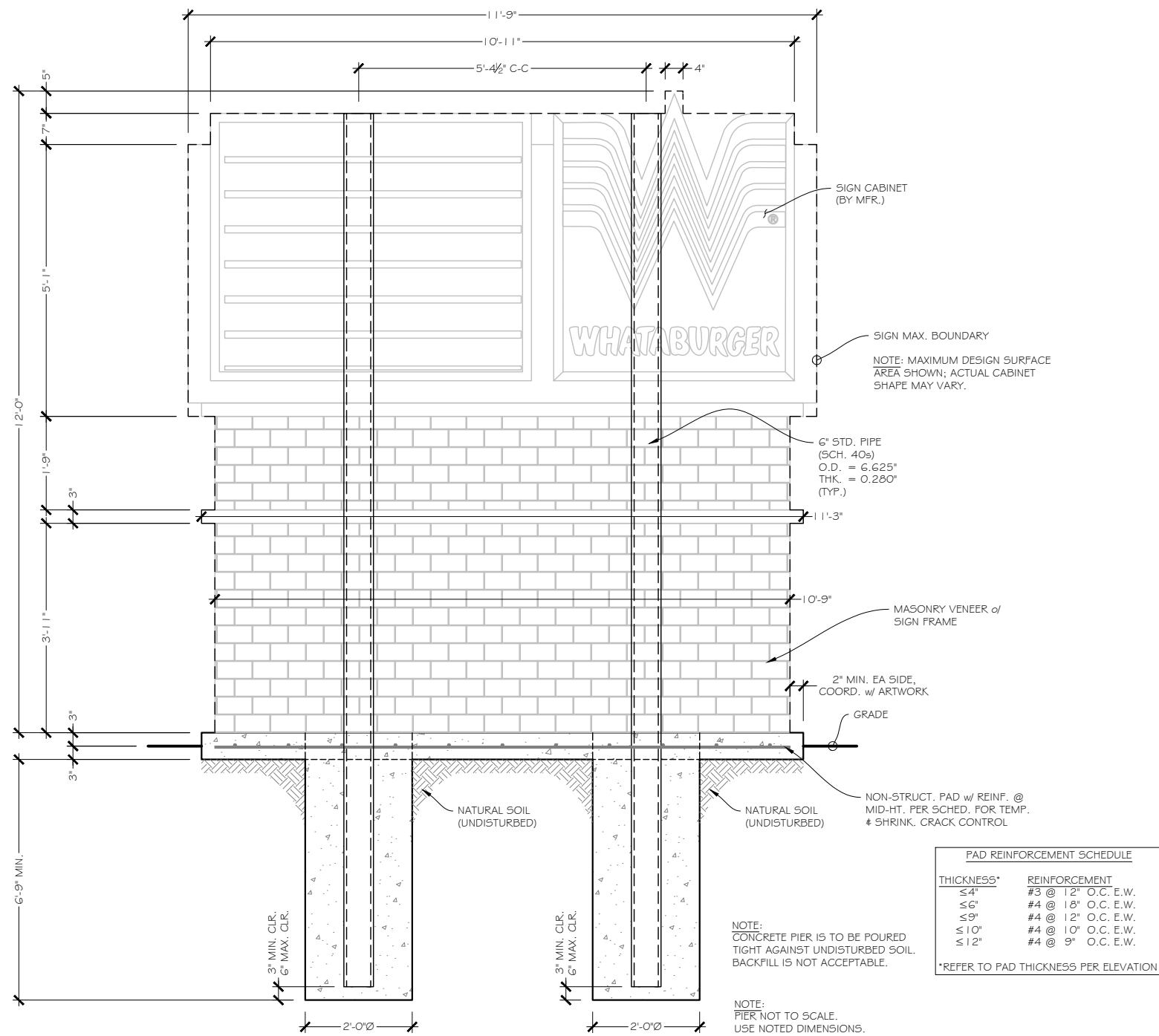
SHEET TITLE:

STRUCTURAL

SHEET:

S.1

Limits of liability extend only to the work detailed, for the quantity of assemblies indicated (1 unless noted otherwise), at the location specified, and by the client listed; use of these plans and/or corresponding structural calculations in violation of either voids all liability.



1

SIGN C ELEVATION

PREPARED FOR:

PATTISON ID

PROJECT #:

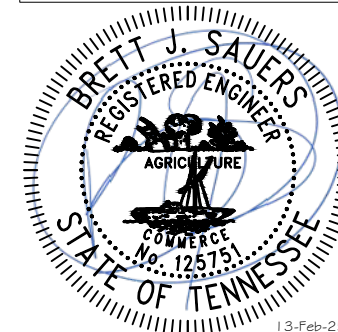
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WHATABURGER
SIGN PACKAGE

6521 RINGGOLD RD
EAST RIDGE, TN

No.	Issue/Revision:	Date:
----	Initial Submittal	2-13-2025

- 1
- 2
- 3
- 4



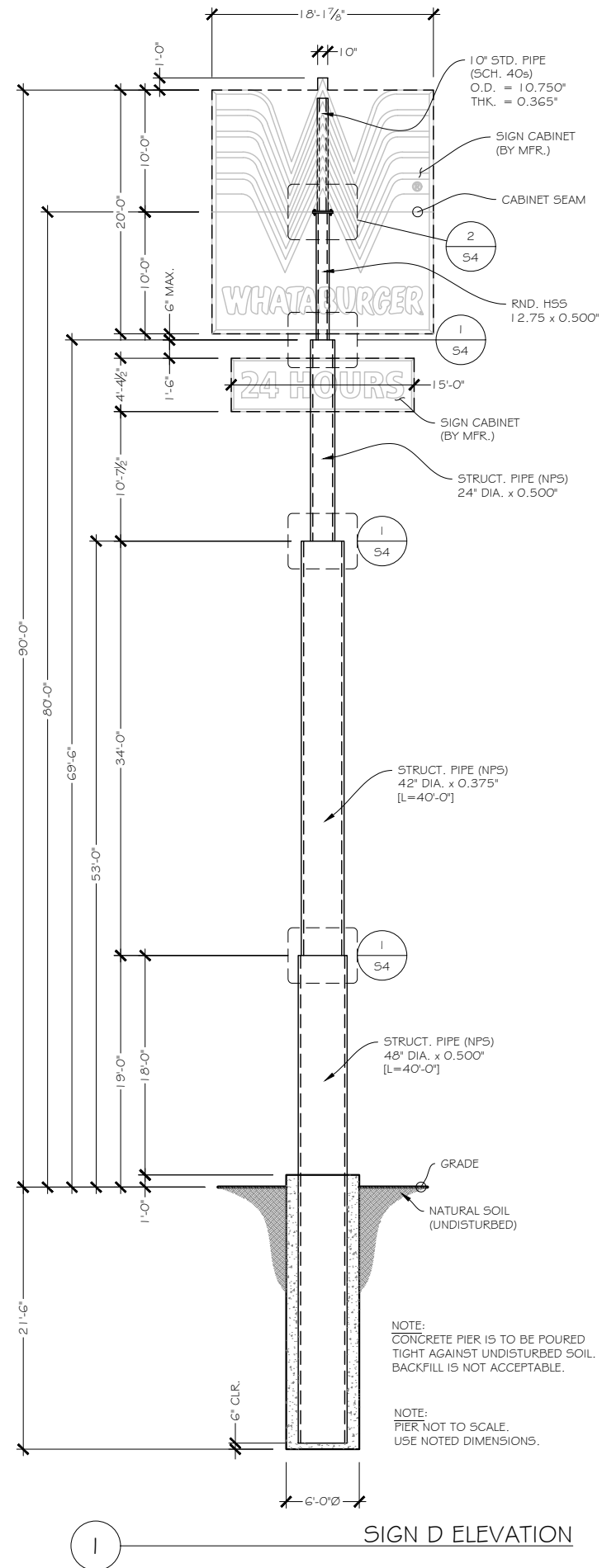
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STRUCTURAL

SHEET:

S.2

Limits of liability extend only to the work detailed, for the quantity of assemblies indicated (1 unless noted otherwise), at the location specified, and by the client listed; use of these plans and/or corresponding structural calculations in violation of either voids all liability.



SIGN D ELEVATION

PREPARED FOR:

PATTISON ID

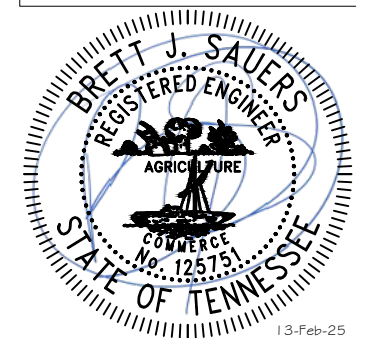
PROJECT #:

2502050

WHATABURGER
SIGN PACKAGE

652 I RINGGOLD RD
EAST RIDGE, TN

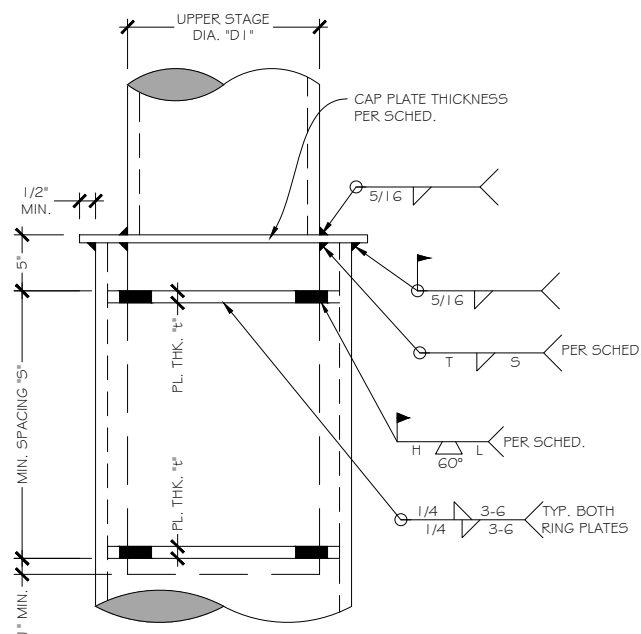
No.	Issue/Revision:	Date:
1	Initial Submittal	2-13-2025
2		
3		
4		



13-Feb-25
SHEET TITLE: STRUCTURAL

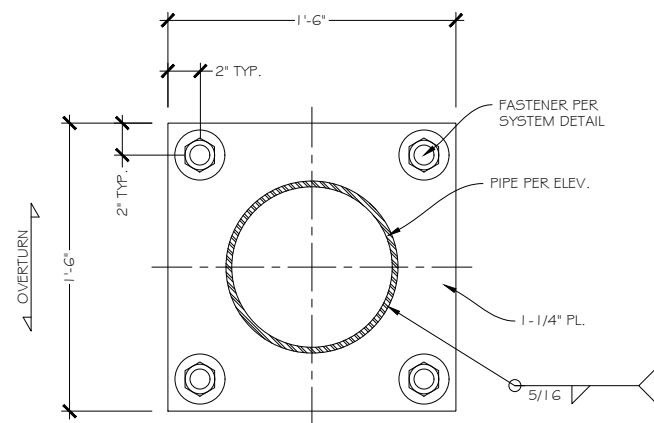
SHEET: S.3

Limits of liability extend only to the work detailed, for the quantity of assemblies indicated (1 unless noted otherwise), at the location specified, and by the client listed; use of these plans and/or corresponding structural calculations in violation of either voids all liability.

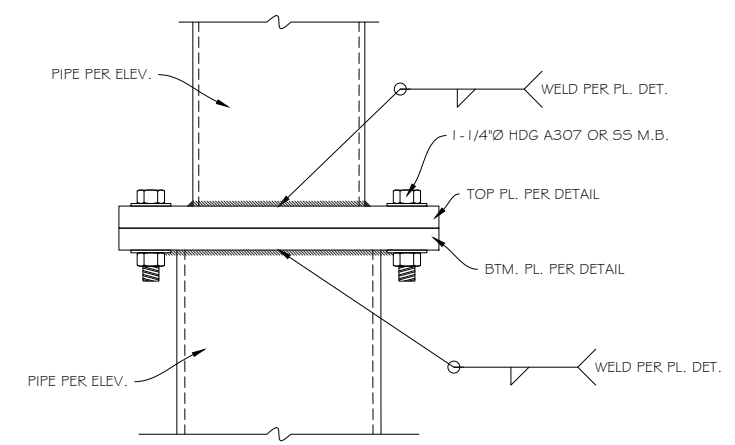


UPPER STAGE DIA. "D1"	CAP PL. THK.	RING PL. THK.	RING PL. SPACING	# SLOTS / RING PL.	WELD SIZES		SLOT WELDS	
					T	S	H	L
< 12"	3/4"	3/4"	18"	4	1/4"	5-6	5/8"	1-3/4"
12" - 18"	3/4"	1"	30"	6	5/16"	5-6	7/8"	2"
20" - 24"	1"	1"	36"	6	5/16"	11-12	7/8"	2-1/4"
26" - 30"	1"	1-1/4"	48"	8	5/16"	11-12	1"	2-1/2"
32" - 42"	1-1/2"	1-1/4"	66"	8	5/16"	11-12	1"	3"
48" - 54"	1-1/2"	1-1/4"	84"	10	5/16"	11-12	1"	3-1/2"
60" - 66"	2"	1-1/4"	102"	12	5/16"	11-12	1"	4"
72" - 96"	2"	1-1/4"	144"	16	5/16"	11-12	1-1/8"	4"

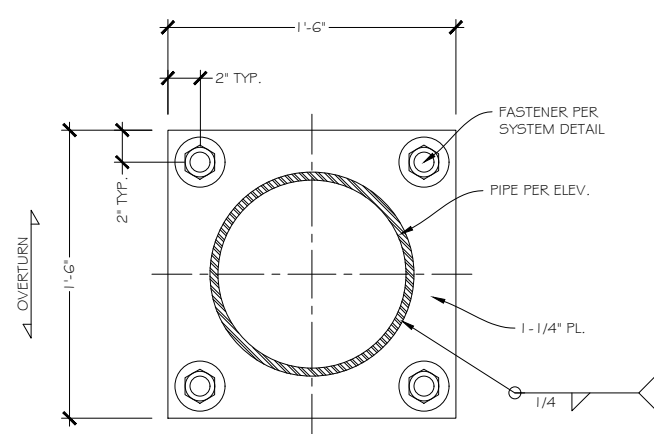
1 TYP. SPLICE DETAIL



TOP PLATE



SYSTEM DETAIL



BOTTOM PLATE

2 CONNECTION DETAIL

PREPARED FOR:

PATTISON ID

PROJECT #:

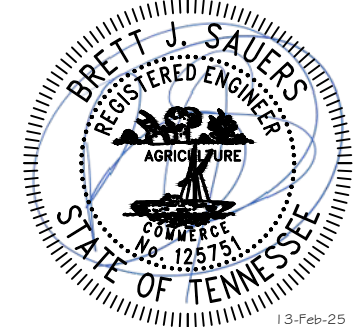
2502050

WHATABURGER
SIGN PACKAGE

652 I RINGGOLD RD
EAST RIDGE, TN

No.	Issue/Revision	Date
----	Initial Submittal	2-13-2025

- 1
- 2
- 3
- 4



SHEET TITLE: STRUCTURAL

SHEET: S.4

Revision Note

- A1,A2 Building
30" WHATABURGER letters on front and drive thru elevation
- B1-B3 - Building 80" W logos on Entry, back and drive thru elevations.
- Back Elevation - move logo to left side of wall
- Drive Thru Elevation- install on far left side of wall
- C Monument
- 7' OAH monument with 5'x 4' cut away top, brick base below. Installed at main entry driveway
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C- Monument- break up the brick change reveal detail

Customer Approval

Signature _____
MM/DD/YYYY

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Pattison
id 1.866.635.1110
pattisonid.com



sevan
ENGINEERING, P.C.
3025 Highland Parkway | Suite 850
Downers Grove, IL 60515
INTEGRITY | RESPECT | TEAMWORK
EXCELLENCE | CHARITY

CLIENT
MWB RESTAURANTS, LLC

SEAL
I HEREBY CERTIFY THAT THESE DRAWINGS HAVE BEEN PREPARED UNDER MY DIRECT SUPERVISION AND, THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THEY COMPLY WITH THE BUILDING CODES AND ORDINANCES OF THE LOCAL JURISDICTION.

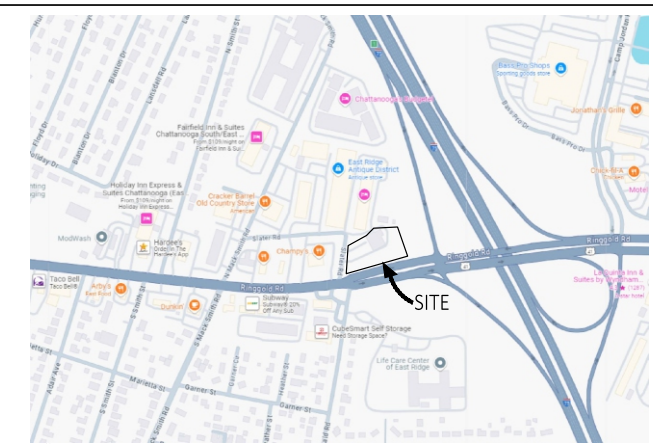
REV	DATE	DESCRIPTION
0	12-27-2024	CLIENT REVIEW
1	01-02-2025	CLIENT REVIEW

CONSULTANTS

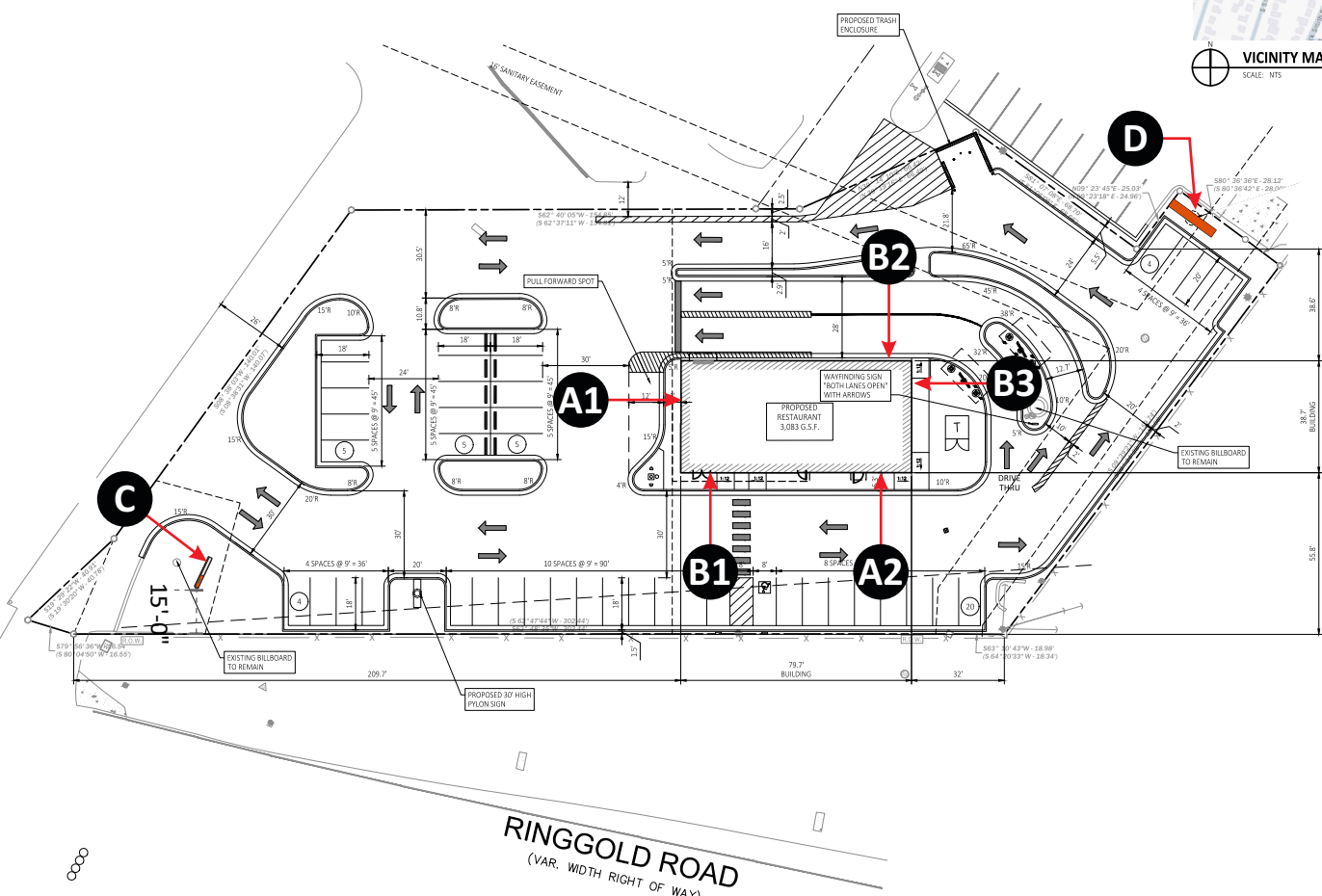
PROJECT INFORMATION
DIMENSION CONTROL PLAN - OPTION 2
MAHOGANY WHATABURGER
6521 RINGGOLD ROAD
CHATTONOOGA, TN 37412
(HAMILTON COUNTY)

SHEET MANAGEMENT	
PROJECT NUMBER:	6521-RING-001
ISSUED DATE:	02-27-2025
DRAWN BY:	JA
CHECKED BY:	JS
PROJ. MGR:	TL

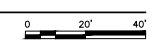
SHEET NUMBER
.. C1.20



GENERAL SITE NOTES
PARCEL AREA: 47,316 SF (1.086 ±AC)
ZONING: C-1, TOURISM COMMERCIAL DISTRICT.
REQUIRED BUILDING SETBACKS:
FRONT (W): 25' ALONG PUBLIC STREET
FRONT (S): 25' ALONG ROW
SIDE (N): N/A, BUT BUILDINGS TO BE MINIMUM 10' APART
REAR (E): N/A
PARKING REQUIREMENT: 1 SPACE PER 3 SEATS. ONE ADA REQUIRED SPACE PER 25 SPACES. 45 SEATS = 15 SPACES REQUIRED. 43 PROVIDED.
EXISTING SITE CONDITIONS: THE SITE IS A DEVELOPED, 1.086 ACRE PARCEL WITH A VACANT WALLY'S RESTAURANT WITHIN EAST RIDGE, TN, HAMILTON COUNTY.
QUEING/STACKING - LANE A = 7 CARS; LANE B = 8 CARS. TOTAL STACKING = 15 CARS.
FUTURE LAND USE: COMMERCIAL DEVELOPMENT.
LANDSCAPE: LANDSCAPE PLAN SHALL BE SUBMITTED AS PART OF THE PLANNING DEPARTMENT APPLICATION.
LIGHTING: FOLLOW CITY LIGHTING REQUIREMENTS.
SIGNAGE: GROUND SIGN: TO FOLLOW CITY REQUIREMENTS.



DIMENSION CONTROL PLAN
SCALE: 1" = 20'-0"



Revision Note

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30" WHATABURGER letters on front and drive thru elevation
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Customer Approval

Signature _____

MM/DD/YYYY _____

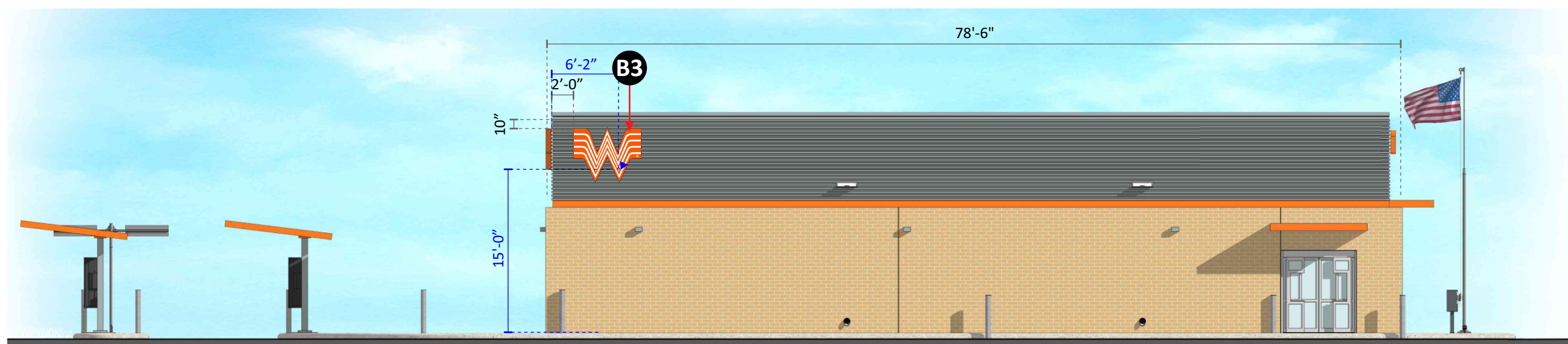
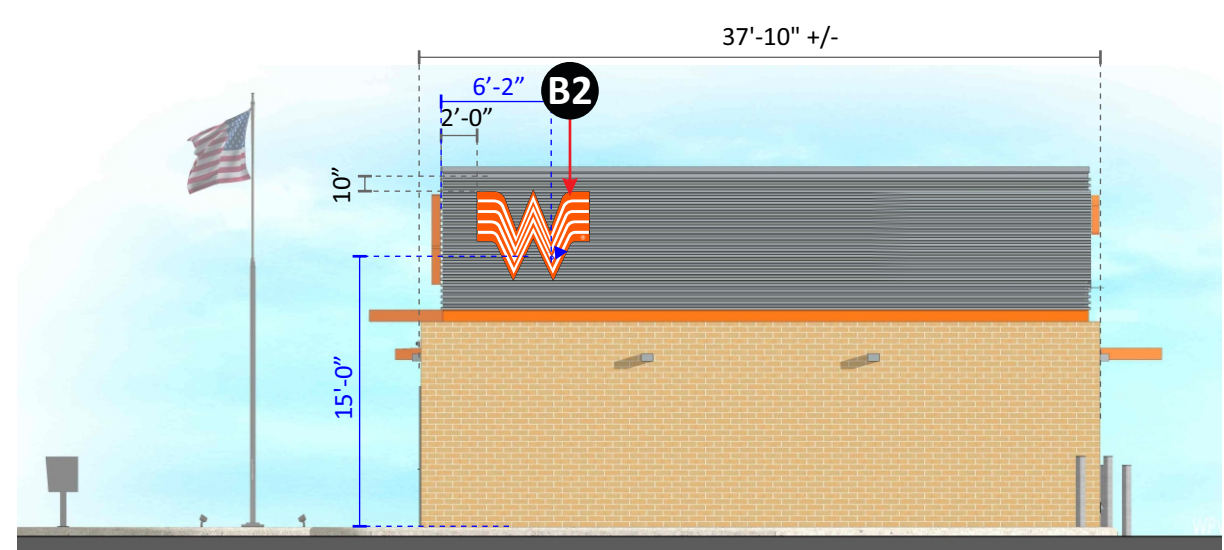
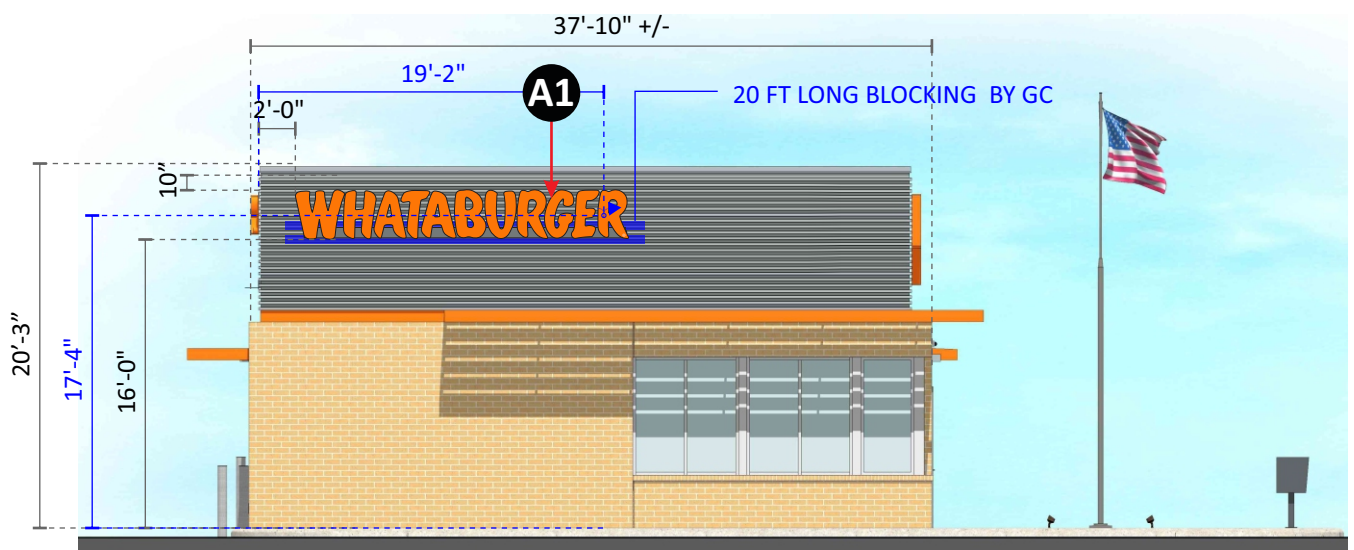
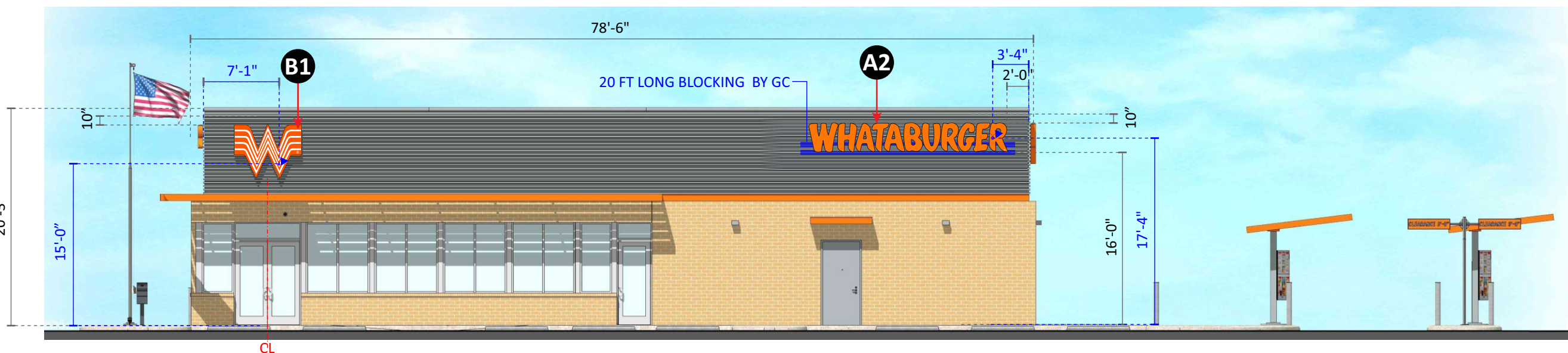
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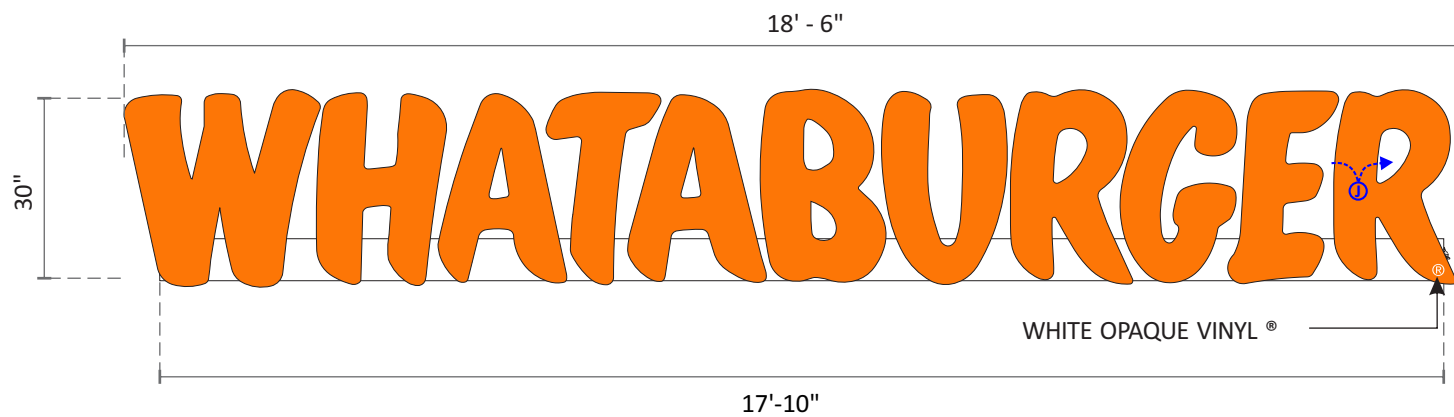
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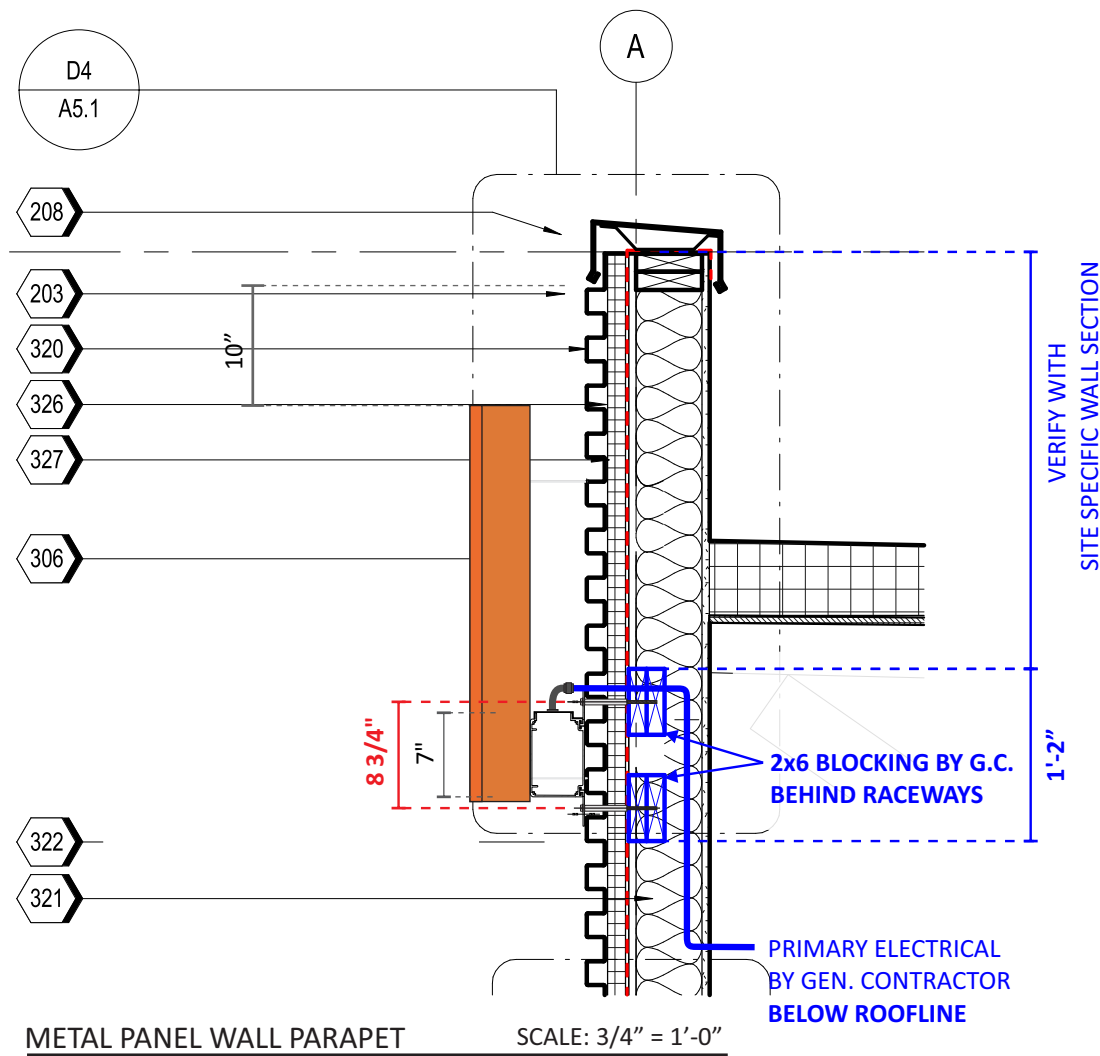


SCALE 3/32" = 1'-0"



A1 A2 PCL ON RACEWAYS
TWO (2) SETS REQUIRED - MANUFACTURE AND INSTALL

SCALE 3/8"=1'-0"
46.25 SQ. FT.



RETURNS ON LETTERS ARE .040" ALUM. PRE-FINISHED WRISCO CONSTRUCTION ORANGE

.187" THK. #2119 ORANGE ACRYLIC LTR. FACES WITH 1" JEWELITE (ORANGE)

4mm ACM BACKS - PAINT INSIDE WHITE AND OUTSIDE TO MATCH RETURN

1/2" 90-DEGREE ELBOW FOR PRIMARY ELECTRICAL, LOCATED BEHIND "R" AT END OF RACEWAY

MOUNT TO FASCIA WITH 3/8" DIAM. NON-CORROSIVE FASTENERS AND COMPRESSION SPACERS PAINTED TO MATCH RACEWAY. FIELD CUT AS REQUIRED PER WALL CONDITION.

INTERNALLY ILLUMINATED WITH PRINCIPAL Qm2 4100K WHITE LEDS

POWER SUPPLY

1/4" WEEP HOLE W/ LIGHT SHIELD AT LOWEST PART OF EACH LETTER

EXTRUDED ALUM. RACEWAY WITH ADJUSTABLE MTG. BRACKETS LOCATED APPROXIMATELY 48" ON CENTER AT TOP AND BOTTOM OF RACEWAY.

P.T.M. WALL FINISH - **Sw7655 Stamped Concrete - VERIFY COLOR**

NOTE: SHIP TOUCH-UP PAINT COLOR TO MATCH BACKGROUND WALL WITH SIGN.

J-BOX BEHIND WALL WITH PRIMARY ELECTRICAL BY G.C.

LETTER SECTION

N.T.S.

NOTE TO INSTALLER

- ALL BOLTS ON RACEWAY TO BE PAINTED TO MATCH BACKGROUND WALL AFTER SIGN HAS BEEN INSTALLED
- PLUG OPENINGS IN TOP OF RACEWAY



Project ID
0641472AR6

Whataburger
6521 Ringgold Rd
East Ridge, TN

Date: 1-13-2025
SALES: DEBBIE MOLTZ
PM: MEGAN AUDERER
Designer: INES HERRASTI

Revision Note

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30" WHATABURGER letters on front and drive thru elevation
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Customer Approval

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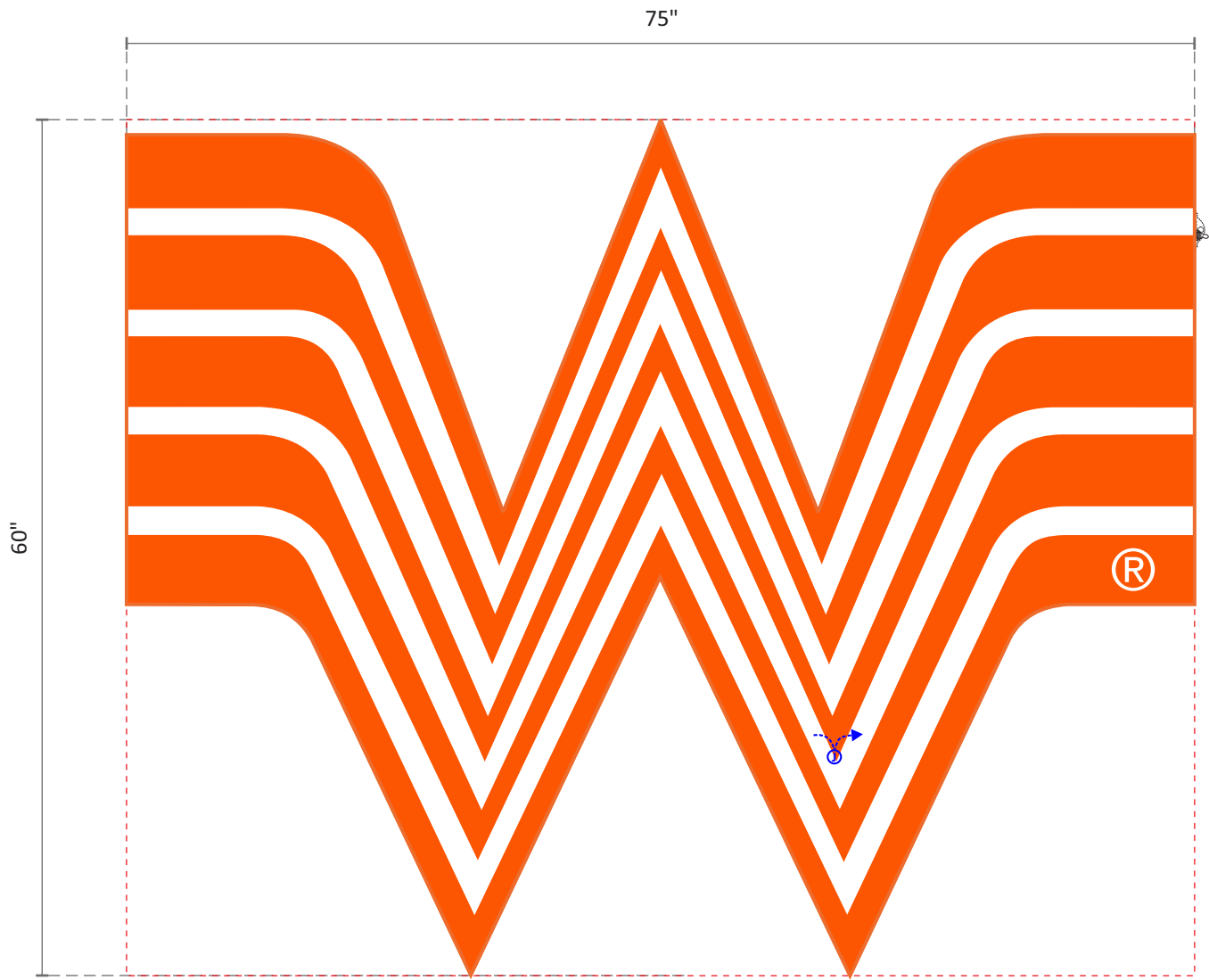
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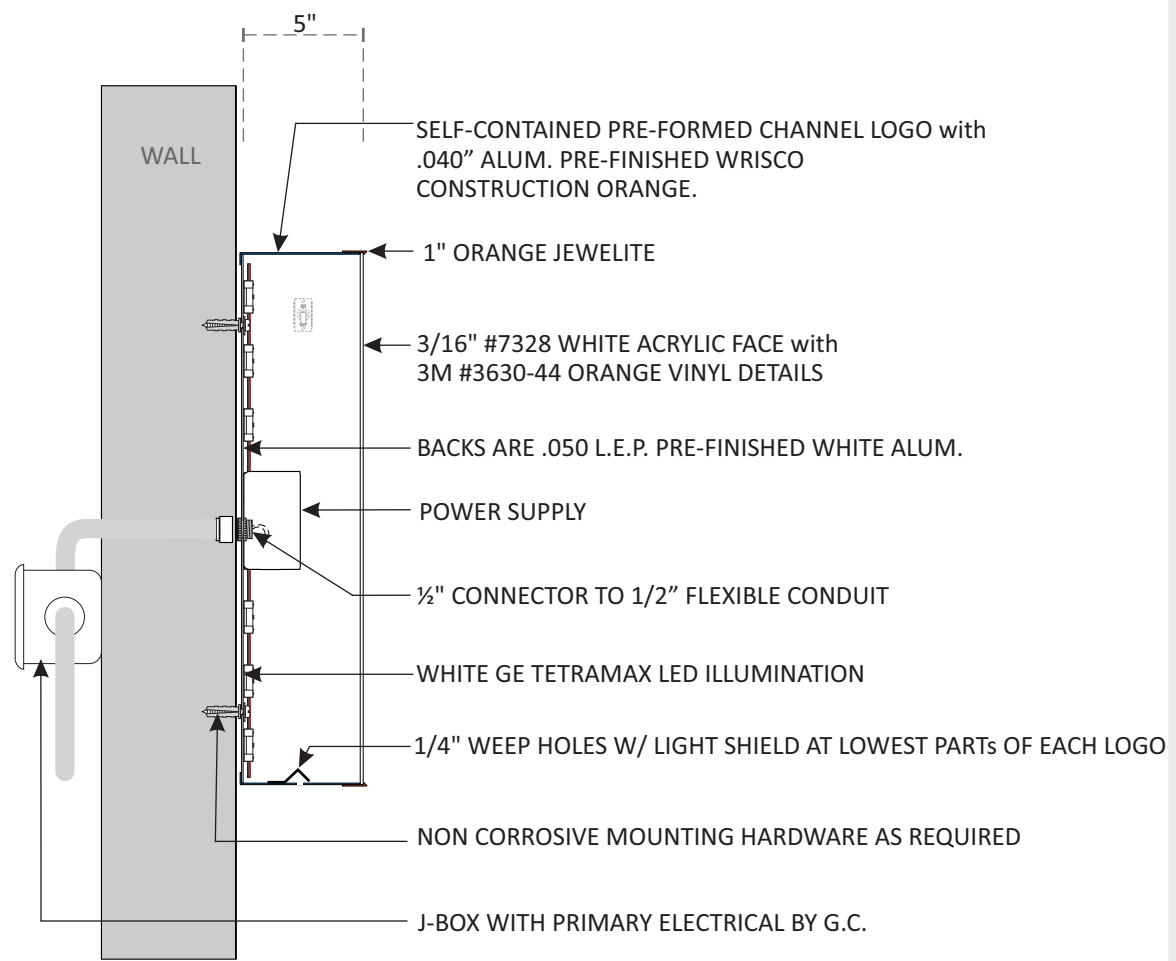
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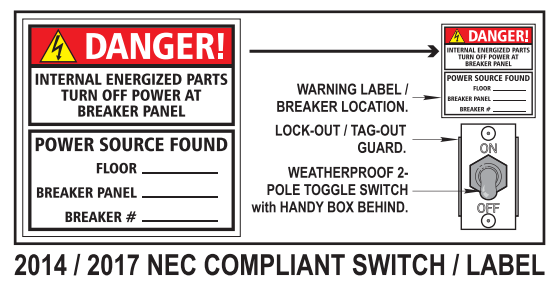
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B1 B2 B3 **60" PCL-LOGO** SCALE: 1" = 1'-0"
THREE (3) REQUIRED - MANUFACTURE AND INSTALL 31.25 SQ. FT.



LETTER SECTION
SELF-CONTAINED



Customer Approval

Signature _____
MM/DD/YYYY

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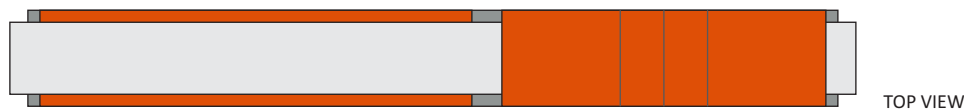
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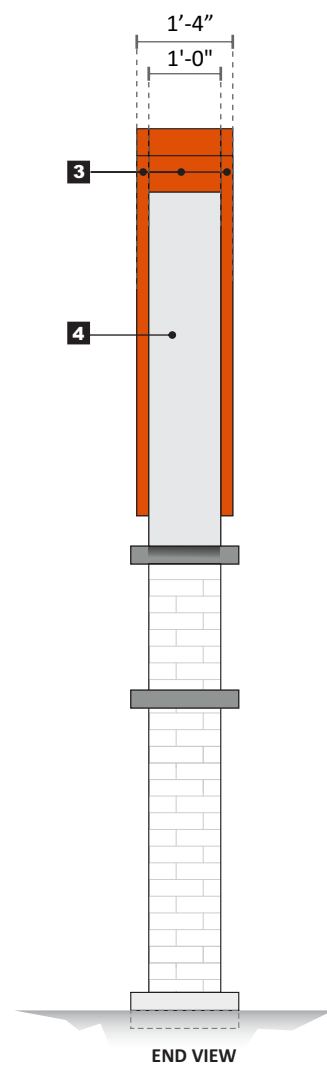
TOP VIEW

D/F MONUMENT SIGN SCALE: 3/8"=1'-0"
ONE (1) REQUIRED - MANUFACTURE AND INSTALL

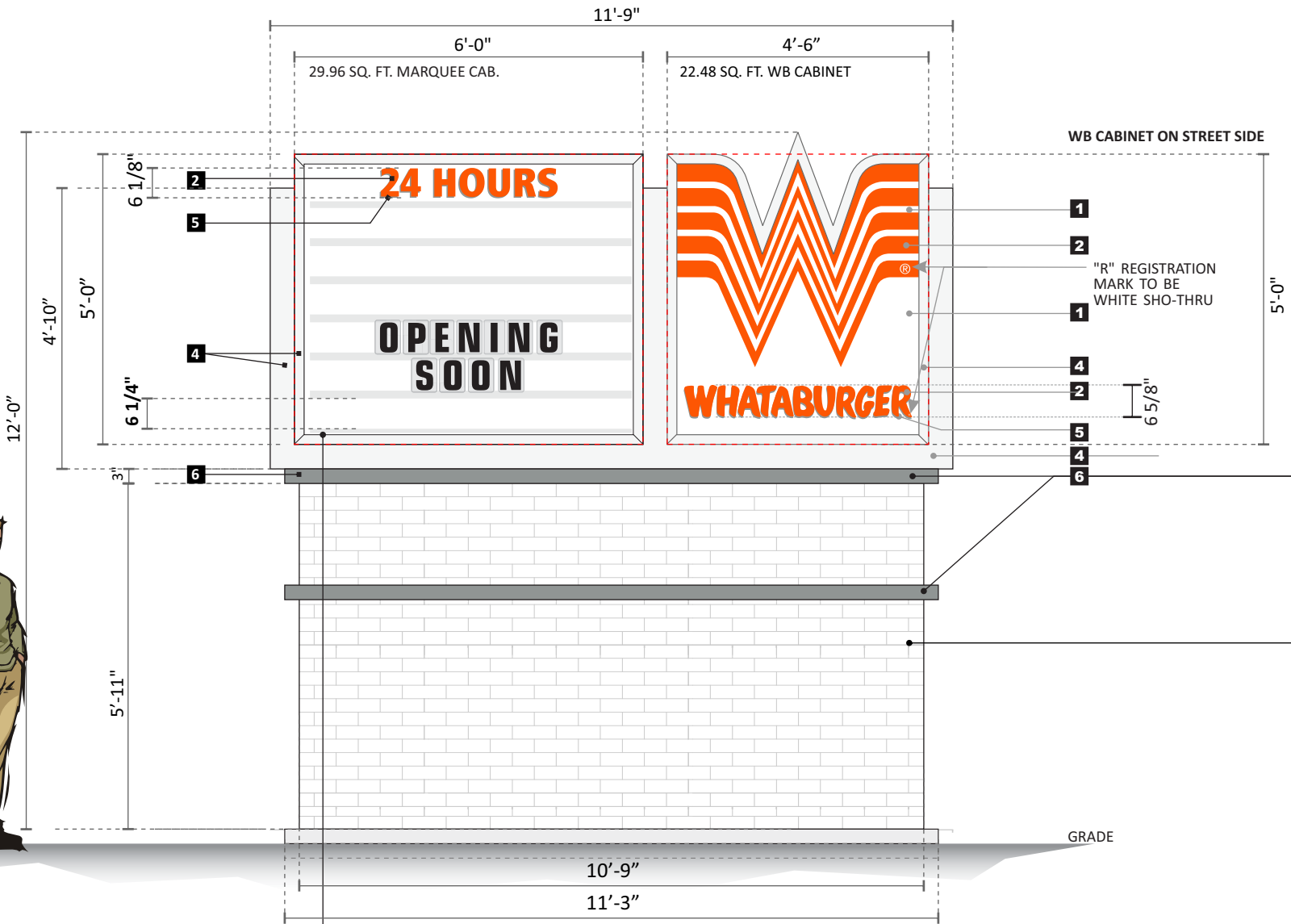
D/F ALUM. CABINET - .063" FILLERS WITH 2" RETAINERS.
SG ACRYLIC FACES WITH APPLIED 1ST SURFACE 3M VINYL GRAPHICS.
INTERNALLY ILLUMINATED WITH WHITE L.E.D. DISPLAY TO HAVE ON/OFF SERVICE SWITCHES
U.L. LABELS REQUIRED. LABELS TO BE ATTACHED IN VISIBLE AREA, DIRECTLY BELOW ON/OFF SWITCH
TWO STEEL SUPPORTS WITH CONCRETE PIER
PAINTED ALUM, CABINET
PAINTED ALUM. SQ TUBE DECOR CAPS

BASE:
FABRICATED SQ. TUBE FRAME WITH 3/4" PRESSURE TREATED PLYWOOD BLOCKING WITH 1/2" THK. CEMENT BACKER BOARD BY CHANDLER SIGNS.
CONCRETE PAD BY CHANDLER SIGNS .

NOTE: STEEL AND FOUNDATION FOR SIGN TO BE DETERMINED BASED ON SITE SPECIFIC BASIS, LOCAL SOIL CONDITIONS AND WIND LOAD REQUIREMENTS.



END VIEW



COLOR SCHEDULE	
1	3/16" WHITE SG ACRYLIC FACES
2	3M 3630-44 ORANGE VINYL
3	P.T.M. P.M.S. 1665C ORANGE.
4	SPRAYLAT MARK 1: SM-1025 SATIN WHITE
5	3M 3630-51 SILVER GRAY VINYL
6	P.T.M. P.M.S. 430 GRAY

ONE (1) D/F ALUM. CABINET READER BOARD. PAINTED 2" RETAINERS.
3/16" SG ACRYLIC FACES WITH 1st SURFACE VINYL COPY READING "24 HOURS".
INTERNALLY ILLUMINATED WITH WHITE L.E.D. HINGED PROTECTIVE CLEAR FACE.
CLEAR TRACKS FOR ZIP LETTERS.
250 COUNT "MODERN ECONO" BLACK ZIP CHANGE LETTER FONT PACKAGE AND STORAGE CABINET.

6 1/4" OPENING FOR 4 LINES OF 6" COPY on 7" PANELS ZIP CHANGE LETTERS.

NOTE TO INSTALLER:
- INSERT COPY ON MARQUEE PER SHOWN LAYOUT TO ENSURE PROPER FIT.

BY GENERAL CONTRACTOR

G.C. TO PROVIDE PRIMARY ELECTRICAL

GEN. CONTRACTOR TO PROVIDE AND INSTALL STANDARD MODULAR BRICK TO MATCH BUILDING. (NOT INCLUDED BY CS) BRICK DIMENSIONS PER GEN. CONTRACTOR;
3 5/8" X 2 1/4" X 7 5/8".

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D D/F PYLON SCALE: 3/32"=1'-0"
ONE (1) REQUIRED - MANUFACTURE AND INSTALL

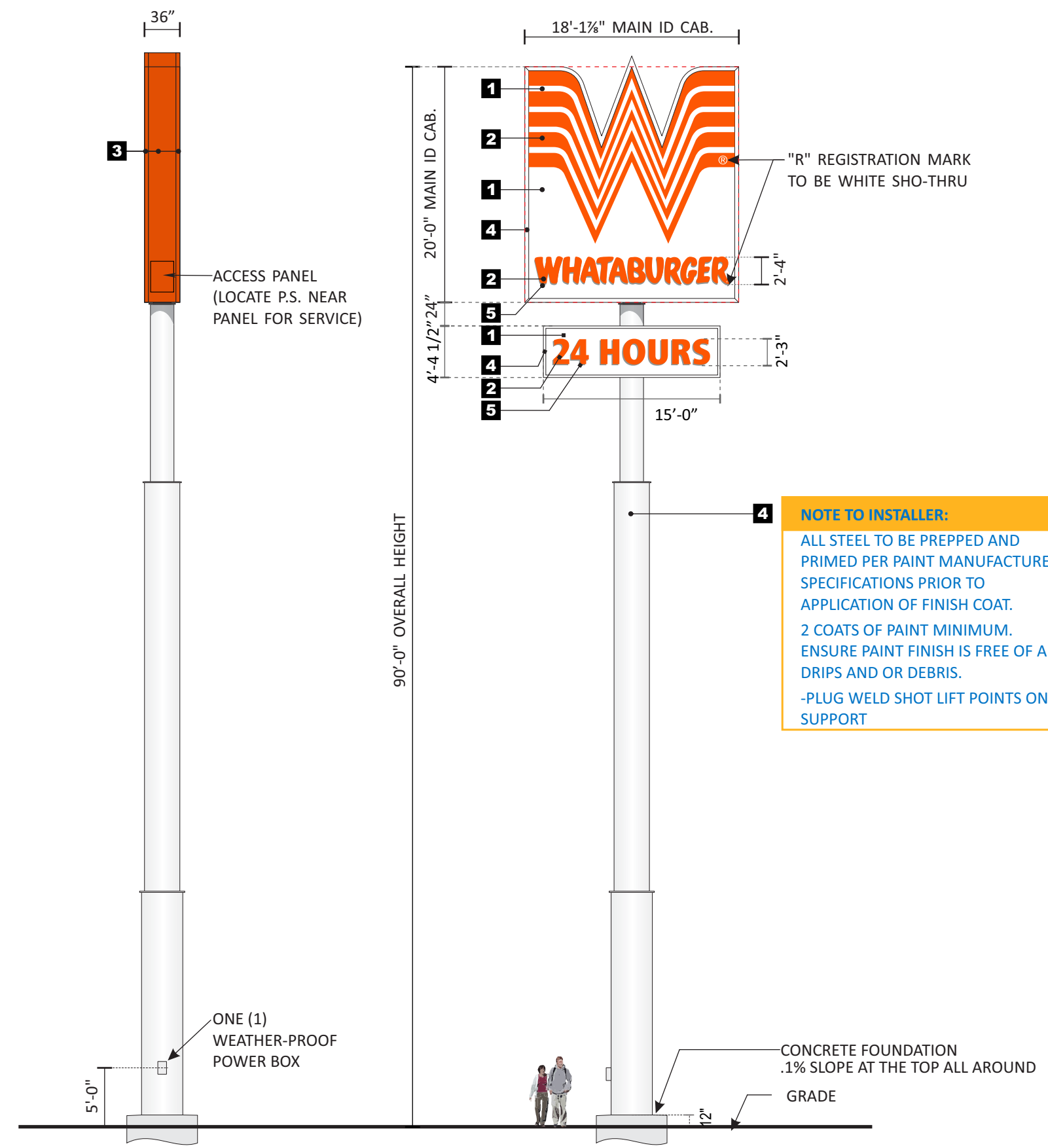
ONE (1) D/F MAIN I-D CABINET
FABRICATED .063" ALUMINUM CABINET WITH 4"x 4" RETAINERS.
FLEX FACES ON ANGLE IRON FRAME WITH 3M CLIPS.
3M TRANSLUCENT VINYL GRAPHICS
INTERNALLY ILLUMINATED WITH WHITE L.E.D.

ONE (1) D/F CABINET READING "24 HOURS"
FABRICATED .063" ALUMINUM CABINET WITH 2"x 4" RETAINERS
FLEX FACES ON ANGLE IRON FRAME WITH CLIPS.
3M TRANSLUCENT VINYL COPY
INTERNALLY ILLUMINATED WITH WHITE L.E.D.
ONE STEEL SUPPORT WITH CONCRETE PIER

COLOR SCHEDULE	
1	3M WHITE FLEX FACES
2	3M 3630-44 ORANGE VINYL
3	P.T.M. P.M.S. 1665C ORANGE.
4	WHITE
5	3M 3630-51 SILVER GRAY VINYL
CABINET - ORANGE AND WHITE AKZONOBEL EFX SATIN FINISH.	
POLE - VALSPAR INDUSTRIAL PAINT.	

NOTE: STEEL AND FOUNDATION FOR SIGN TO BE DETERMINED BASED ON SITE SPECIFIC BASIS, LOCAL SOIL CONDITIONS AND WIND LOAD REQUIREMENTS.

NOTE TO INSTALLER:
ALL STEEL TO BE PREPPED AND PRIMED PER PAINT MANUFACTURE'S SPECIFICATIONS PRIOR TO APPLICATION OF FINISH COAT.
2 COATS OF PAINT MINIMUM.
ENSURE PAINT FINISH IS FREE OF ANY DRIPS AND OR DEBRIS.
-PLUG WELD SHOT LIFT POINTS ON SUPPORT



D/F PYLON

SCALE: 3/32"=1'-0"

ONE (1) REQUIRED - MANUFACTURE AND INSTALL

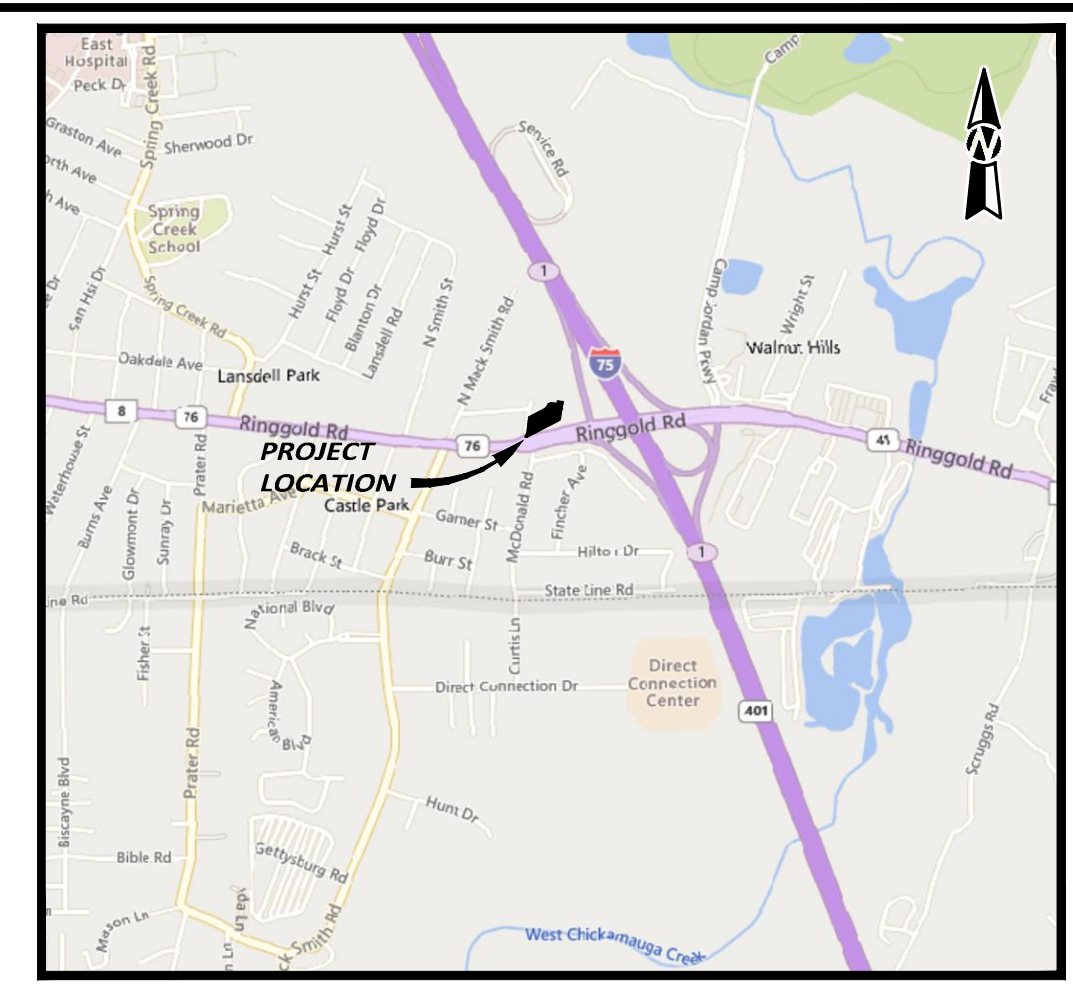
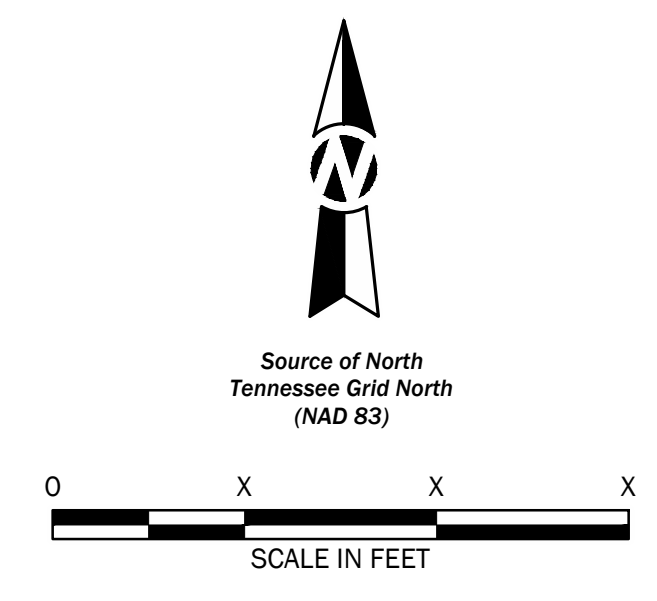
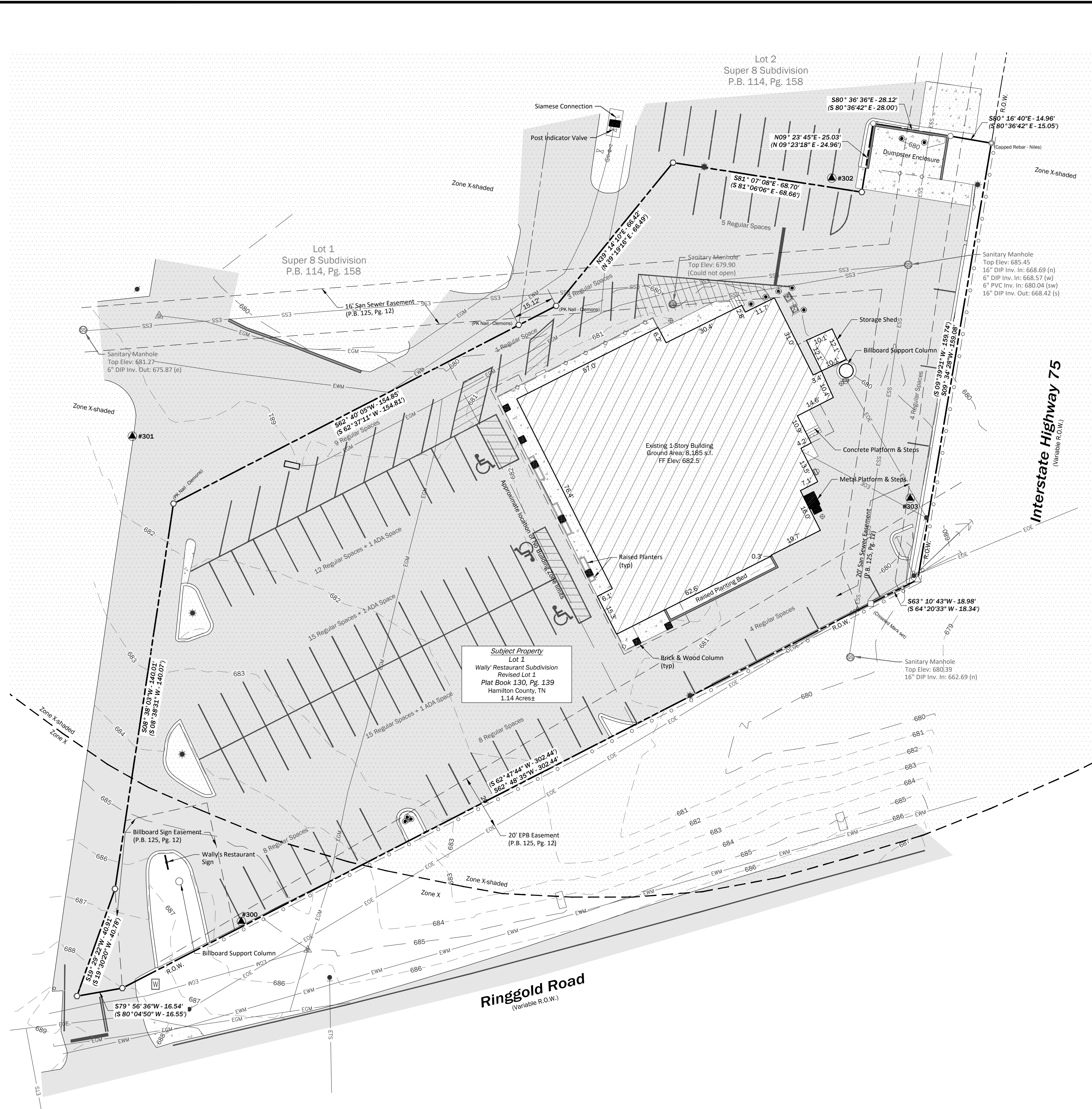
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CABINET - ORANGE AND WHITE AKZONOBEL EFX SATIN FINISH.	
POLE - VALSPAR INDUSTRIAL PAINT.	

NOTE: STEEL AND FOUNDATION FOR SIGN TO BE DETERMINED BASED ON SITE SPECIFIC BASIS, LOCAL SOIL CONDITIONS AND WIND LOAD REQUIREMENTS.

NOTE TO INSTALLER:
ALL STEEL TO BE PREPPED AND PRIMED PER PAINT MANUFACTURE'S SPECIFICATIONS PRIOR TO APPLICATION OF FINISH COAT.
2 COATS OF PAINT MINIMUM.
ENSURE PAINT FINISH IS FREE OF ANY DRIPS AND OR DEBRIS.
-PLUG WELD SHOT LIFT POINTS ON SUPPORT



VICINITY MAP
NO SCALE

SURVEY LEGEND

---	EXISTING BOUNDARY LINE
---	EXISTING RIGHT-OF-WAY
---	EXISTING SUBDIVISION LOT LINE
---	EXISTING CHAIN LINK FENCE
---	EXISTING IRON FENCE
---	EXISTING WIRE FENCE
---	EXISTING WOOD FENCE
---	EXISTING CONTOUR 5' INTERVAL
---	EXISTING CONTOUR 1' INTERVAL
---	EXISTING SURFACE ELEVATION
---	EXISTING SANITARY SEWER MAIN
---	EXISTING SANITARY SEWER FORCE MAIN
---	EXISTING STORM DRAIN
---	EXISTING WATER MAIN
---	EXISTING GAS MAIN
---	EXISTING OVERHEAD ELECTRICAL
---	EXISTING UNDERGROUND ELECTRICAL
---	EXISTING OVERHEAD CABLE TELEVISION
---	EXISTING UNDERGROUND CABLE TELEVISION
---	EXISTING OVERHEAD TELEPHONE
---	EXISTING UNDERGROUND TELEPHONE
---	EXISTING TRAFFIC SIGNAL LINE
---	EXISTING UNDERGROUND FIBER OPTIC
---	EXISTING SANITARY SEWER MANHOLE
---	EXISTING SANITARY SEWER CLEANOUT
---	EXISTING STORM MANHOLE
---	EXISTING STORM DOUBLE WING INLET
---	EXISTING STORM SINGLE WING INLET
---	EXISTING STORM YARD INLET
---	EXISTING STORM GRATE INLET
---	EXISTING STORM JUNCTION BOX
---	EXISTING WATER VALVE
---	EXISTING IRRIGATION CONTROL VALVE
---	EXISTING WATER METER
---	EXISTING FIRE HYDRANT
---	EXISTING WATER SPIGOT
---	EXISTING GAS METER
---	EXISTING GAS VALVE
---	EXISTING MONITORING WELL
---	EXISTING ELECTRIC MANHOLE
---	EXISTING POWER POLE
---	EXISTING GUY ANCHOR
---	EXISTING LIGHT POLE
---	EXISTING GROUND/LANDSCAPE LIGHT
---	EXISTING ELECTRICAL BOX
---	EXISTING ELECTRIC METER
---	EXISTING A/C PAD
---	EXISTING TELEPHONE MANHOLE
---	EXISTING TRAFFIC POLE
---	EXISTING TELEPHONE PEDESTAL
---	EXISTING CABLE TELEVISION PEDESTAL
---	EXISTING AT&T MANHOLE
---	EXISTING BOLLARD
---	EXISTING MAILBOX
---	EXISTING SIGN
---	IRON PIPE / PIN FOUND
---	CAPPED REBAR FOUND
---	CONCRETE MONUMENT SET
---	CONCRETE MONUMENT FOUND
---	AXLE FOUND
---	PK NAIL FOUND
---	CAPPED REBAR SET
---	SECTION
---	TOWNSHIP
---	RANGE
---	R.O.W.
---	M.B.L.
---	MINIMUM BUILDING LINE
---	PLAT BOOK
---	DEED BOOK
---	PAGE
---	RECORD DIMENSION
---	EXISTING TREE
---	EXISTING RIPRAP LINING
---	EXISTING CONCRETE PAVEMENT
---	EXISTING ASPHALT PAVEMENT
---	EXISTING BRICK PAVERS
---	EXISTING BUILDING
---	EXISTING GRAVEL DRIVE
---	EXISTING RIPRAP LINING
---	Flood Zone X Shaded - Areas determined to be within the 0.2% annual chance flood (which is not a Special Flood Hazard Area)
---	Flood Zone X shaded Boundary

NOTES

- This is not a property boundary survey. This is a survey of improvements of the property as shown.
- Drawing Datum
2.1.1 Horizontal Datum: Tennessee State Plane, NAD83(2011), U.S. Feet
2.1.2 Vertical Datum: NAVD88, U.S. Feet
- Not all underground utilities are shown hereon. Utilities that are shown are approximate from observed evidence, available utility plans, and underground utility markings as provided through a Tennessee 811 locate request at time of survey. No guarantee or warranty of the accuracy of the location of underground utilities is hereby implied. Utilities should be verified onsite prior to any construction or digging.
- Zoning: C-1 Commercial District
- Parking: 87 total striped parking spaces (84 regular + 3 ADA)
- No portion of the survey limits lies within any Special Flood Hazard Area from information as depicted on FEMA Flood Panel 47065C0477 G, revised February 3, 2016.

I hereby certify that this is a Category 1 Survey and was done in compliance with the Rules of Tennessee State Board of Examiners for Land Surveyors Chapter (0820-03) Standards of Practice and (0820-03-.07) Survey Types and Requirements. The ratio of precision for this unadjusted survey is greater than 1:10,000 as shown hereon.

PRELIMINARY

Grayson W. Smith, TN RLS #3003
grayson@ttusa.com
Date:



SITE CONTROL POINTS:

Point ID	Northing	Easting	Elevation	Description
300	239910.204	2206116.617	685.586	PK NAIL
301	240084.579	2206077.422	681.526	PK NAIL
302	240177.322	2206328.874	679.416	PK NAIL
303	240062.222	2206357.074	680.059	PK NAIL

For topographic of this survey, RTK GPS positional data was observed on between the dates of 11-26-2024 utilizing a Leica GS 18 dual frequency receiver. The grid coordinates of the Fixed Station(s) shown were derived using a VRS network of CORS stations referenced to NAD 83 (2011) (Epoch 2010) Geoid 12b (Conus).

Positional accuracy of the GPS vectors does not exceed: H 0.05', V 0.07'
Combined Grid Factor: Automated Mapping Plane



3516 Greensboro Avenue | Tuscaloosa, AL 35401
205.345.0816 | www.ttlusa.com

Former Wally's Restaurant
Lot 1 Wally Restaurant Subdivision Revised Lot 1

Sevan Multi-Site Solutions
6521 Ringgold Road
Chattanooga, Hamilton County, Tennessee

PRELIMINARY
(NOT FOR CONSTRUCTION,
RECORD PURPOSES
OR IMPLEMENTATION)

Topographic Survey

No.	Date	Revision Description

Drawn By: SGF / GNF
Checked By: SGF / GMS
Date Drawn: 12/4/2024
Date Surveyed: 11/26/2024
Scale: 1"=20'
Proj. No.: 24-01-31395-00
File Name: 24-3138-Topo Survey.dwg

Sheet No.
1

AGENDA MEMORANDUM

USE ON REVIEW

Date: April 24th, 2025

Submitted by:

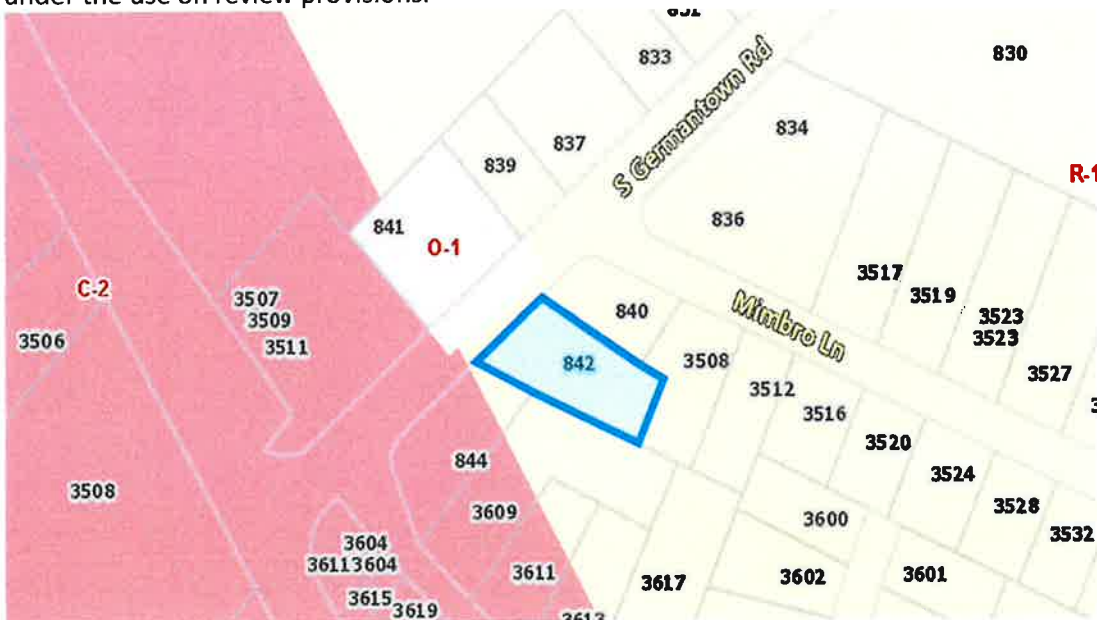


Michael Howell, Chief Building Official

SUBJECT:

Aline Defiglia is requesting the City Council's approval to operate a medical clinic at 842 S Germantown Rd, which is zoned R-1 Residential District. The use of a medical clinic is permitted on review within R-1 residential districts, allowing professional medical and dental services, as well as clinics.

The parcel at 842 Germantown Rd is adjacent to both commercial and residential areas. Previously, this location was occupied by TLC (Talk Listen & Communicate LLC) and, most recently, it received approval from the City Council to operate as a Montessori school under the use on review provisions.



PROPERTY OWNER'S PERMISSION LETTER

TO: Aline Defiglia

FROM: East Lake Montessori

PROPERTY: 842 S Germantown Chattanooga, TN 37412

Date: 3/18/2025

Dear Aline,

On behalf of East Lake Montessori, I hereby grant you full permission to apply for rezoning, use on review, or any other necessary land use approvals or permits with the City of Chattanooga and the City of East Ridge, as required, in connection with your intended use of the property. This permission includes, but is not limited to, applications to the relevant departments, hearings, and approvals needed for any modifications to the current zoning or land use status of the property.

This authorization is granted with the understanding that you, the buyer, will be solely responsible for any fees, processes, and actions necessary to pursue these applications. The City of Chattanooga and the City of East Ridge may require additional documentation, and I, as the property owner, will cooperate in providing any information or signatures as needed to facilitate these processes.

Sincerely,

Signed by:

B04BFC11C308472...

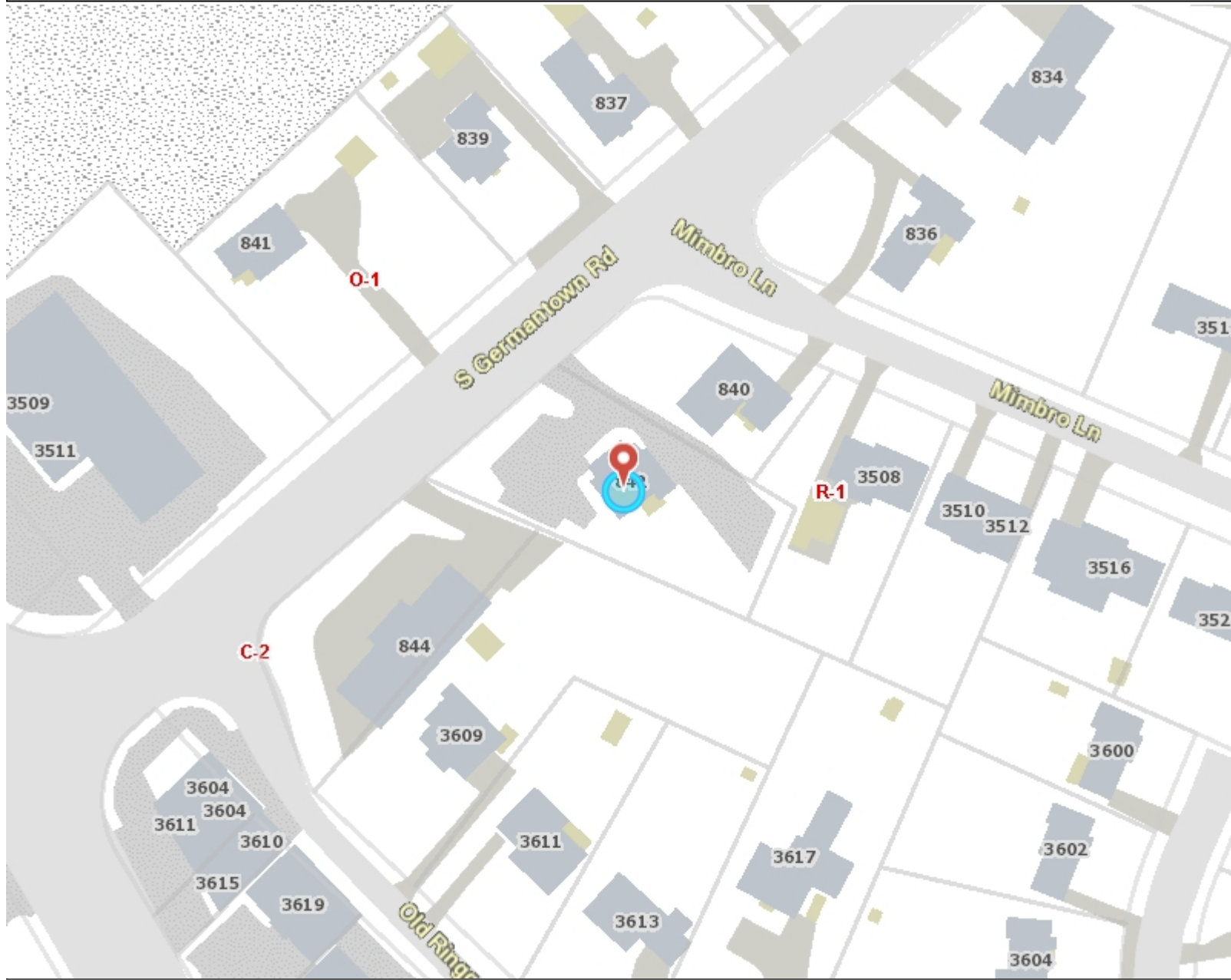
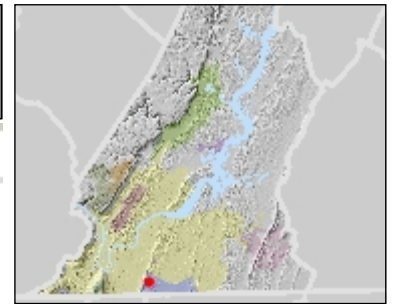
Jenny Varner

East Lake Montessori

Head of School

3/20/2025 | 14:45 EDT

GISMO 5



Legend

- Address Labels
- Parcels
- Zoning_Collegedale
 - AG
 - C-1
 - C-2
 - C-3
 - I-1
 - MU-BC
 - MU-TC
 - PCD
 - PRD
 - R-1-H
 - R-1-L
 - R-1-T
 - R-2
 - R-3
 - U-1
- Zoning_RevCond_RedBank
- Zoning_RedBank
 - C-1
 - C-2
 - C-3
 - L-1
 - M-1
 - R-1
 - R-2
 - R-3
 - R-4
 - R-TZ
 - R1-A
 - RT-1
 - RZ-1
- Zoning_Soddy Daisy
 - A-1
 - C-2
 - C-3
 - M-1
 - M-2
 - O-1
 - MH
 - R-1
 - R-2
 - R-2A
 - R-3
 - R-3MD
 - R-4

0 100.00 200.0Feet

NAD_1983_StatePlane_Tennessee_FIPS_4100_Feet
© Latitude Geographics Group Ltd.



Disclaimer: This map is to be used for reference only, and no other use or reliance on the same is authorized. This map was automatically generated using HCGIS Mapping System. Parcel lines are shown for reference only and are not intended for conveyances, nor is it intended to substitute for a legal survey or property abstract.